

CITY OF LOS ALAMITOS
Council Chamber
3191 Katella Ave., Los Alamitos CA 90720

PLANNING COMMISSION AGENDA
REGULAR MEETING

Wednesday, August 24, 2022 – 7:00 PM

SAFETY ALERT – NOTICE REGARDING COVID-19

If you wish to attend the Planning Commission meeting in person, the Council Chamber located at 3191 Katella Ave., Los Alamitos, California 90720, will have seating for this meeting and the public shall have the right to observe and offer public comment at this location. The City of Los Alamitos continues to follow the Centers for Disease Control and Prevention (CDC) guidelines and these provisions are subject change with short notice.

While you may attend this meeting in person, given the health risks associated with COVID-19, please be advised that you may submit comments on any agenda item or on any item not on the agenda by email to planningcommission@cityoflosalamitos.org with the subject line "PUBLIC COMMENT". Comments received by 4:00 p.m. will be compiled, provided to the Planning Commission, and made available to the public before the start of the meeting. Staff will not read email comments at the meeting but the official record will include all email comments received until the close of the meeting.

Please consider carefully before attending this meeting in person and do not attend this meeting in person if you have had direct contact with someone who has tested positive for Coronavirus (COVID-19), or you are experiencing symptoms such as coughing, sneezing, fever, difficulty breathing or other flu-like symptoms.

NOTICE TO THE PUBLIC

This Agenda contains a brief general description of each item to be considered. Except as provided by law, action or discussion shall not be taken on any item not appearing on the agenda. Supporting documents, including staff reports, are available for on the City's website at www.cityoflosalamitos.org once the agenda has been publicly posted.

Any written materials relating to an item on this agenda submitted after distribution of the agenda packet are available for public inspection on the City's website at www.cityoflosalamitos.org.

It is the intention of the City of Los Alamitos to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee, or a participant at this meeting, you will need special assistance beyond what is normally provided, please contact the Development Services Department at (562) 431-3538, extension 303, 48 hours prior to the meeting so that reasonable arrangements may be made.

1. CALL TO ORDER

2. ROLL CALL

Chair DeBolt
Vice Chair Loe
Commissioner Andrade
Commissioner Culty
Commissioner Grose
Commissioner Sofelkanik
Commissioner Zellmer

3. PLEDGE OF ALLEGIANCE

4. ORAL COMMUNICATIONS

At this time, any individual in the audience may address the Planning Commission and speak on any item within the subject matter jurisdiction of the Commission. Please state if you wish to speak on an item on the Agenda. **Remarks are to be limited to not more than five minutes.**

5. CONSENT CALENDAR

All Consent Calendar items may be acted upon by one motion unless a Planning Commissioner requests separate action on a specific item.

A. Findings Required by AB 361 for the Continued Use of Teleconferencing for Meetings

For the Planning Commission to continue to have the option to meet via teleconference during the pandemic, AB 361 requires the Planning Commission to make specific findings at least every thirty (30) days.

Recommendation:

Make the following findings by a majority vote of the Planning Commission:

1. A state of emergency has been proclaimed by California's Governor due to the COVID-19 pandemic, and continues to be in effect;
2. The Planning Commission has reconsidered the circumstances of the state of emergency; and
3. State and local officials continue to recommend measures to promote social distancing to slow the spread of COVID-19.

6. PUBLIC HEARING

A. Conditional Use Permit (CUP) 22-03 - Continued Consideration of a Secondhand Store in the General Commercial (C-G) Zone 10582 Los Alamitos Boulevard

Continued consideration of a Conditional Use Permit (CUP 22-03) to allow a Secondhand Store to be permitted at 10582 Los Alamitos Boulevard in the General Commercial (C-G) Zoning District. This is to permit a move of "Play It Again Sports" from a prior location in the City at 4141 Katella Avenue.

Recommendation:

1. Open the Public Hearing; and,

2. Take testimony; and,
3. Adoption of Resolution No. 22-XX, entitled, “A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT 22-03 TO OPERATE A 3,000 SQUARE FOOT SECONDHAND SHOP IN A COMMERCIAL BUILDING AT 10582 Los Alamitos Blvd., IN THE GENERAL-COMMERCIAL (C-G) ZONING DISTRICT, APN 242-242-01. (APPLICANT: WILLIAM A. PHILLIPS);” or alternatively,
4. Continue the item to the September 28, 2022 Planning Commission meeting.

**B. Site Development Permit (SDP) 22-01
2,932 Sq. Ft. Expansion of Office Building**

Consideration of a Site Development Permit application for a 2,932 square foot single-story addition to an existing 4,994 square foot office building at Grating Pacific, Inc. (Richard Jimenez – on behalf of Grating Pacific).

Recommendation:

1. Open the Public hearing; and,
2. Take testimony; and,
3. Make the CEQA finding that the project is subject to a Class 1 Categorical Exemption, pursuant to Section 15332, Class 32 (Infill development), has been prepared for the proposed project in accordance with the California Environmental Quality Act; and if appropriate,
4. Adopt PC Resolution No. 2022-10, entitled, “A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING SITE Development Permit 22-01 TO PERMIT a 2,932 square foot single-story addition of an existing 4,994 square foot office building AT 3651 SAUSALITO STREET IN THE PLANNED LIGHT INDUSTRIAL ZONE (P-M), APN 242-242-04 (APPLICANT: Richard Jimenez for Grating Pacific).”

7. ITEMS FROM THE DEVELOPMENT SERVICES DEPARTMENT

8. COMMISSIONER REPORTS

9. ADJOURNMENT

APPEAL PROCEDURES

Any final determination by the Planning Commission may be appealed to the City Council, and must be done so in writing at the Development Services Department, within ten (10) business days after the Planning Commission decision. The appeal must include a statement specifically identifying the portion(s) of the decision with which the appellant disagrees and the basis in each case for the disagreement, accompanied by an appeal fee of \$1,048.00 (resident)/ \$2,349.00 (non-resident) in accordance with Los Alamitos Municipal Code Section 17.60 and Fee Resolution No. 2021-06.

I hereby certify under penalty of perjury under the laws of the State of California, that the foregoing Agenda was posted at the Los Alamitos City Hall, 3191 Katella Ave. and online at www.cityoflosalamitos.org not less than 72 hours prior to the meeting.

A handwritten signature in black ink, appearing to read "M. Ver Enciso", written in a cursive style.

Maria Veronica Enciso
Department Secretary
Date: 08/18/2022

City of Los Alamitos

PLANNING COMMISSION AGENDA REPORT

MEETING DATE: August 24, 2022

ITEM NUMBER: 5A

To: Chair DeBolt & Members of the Planning Commission

Presented By: Michael Daudt, City Attorney

Subject: Findings Required by AB 361 for the Continued Use of Teleconferencing for Meetings

SUMMARY

For the Planning Commission to continue to have the option to meet via teleconference during the pandemic, AB 361 requires the Planning Commission to make specific findings at least every thirty (30) days.

RECOMMENDATION

Make the following findings by a majority vote of the Planning Commission:

1. A state of emergency has been proclaimed by California's Governor due to the COVID-19 pandemic, and continues to be in effect;
2. The Planning Commission has reconsidered the circumstances of the state of emergency; and
3. State and local officials continue to recommend measures to promote social distancing to slow the spread of COVID-19.

BACKGROUND

Assembly Bill 361 (AB 361) was signed into law by the Governor on September 16, 2021. A portion of AB 361 enacted amendments to California Government Code section 54953 regarding teleconference meetings. Those amendments authorize local agencies, like the City, to continue to conduct meetings by teleconferencing during a Governor-proclaimed state of emergency provided that certain findings are made by the legislative body, and provided that certain procedural requirements are met regarding public access to the meetings.

A new requirement in AB 361 requires specific findings be reaffirmed at least every thirty (30) days in order for the Planning Commission to continue to have the option for one (1) or more of its members to use teleconferencing.

A "teleconference" occurs for purposes of AB 361 whenever one or more members of the Planning Commission connect to a Planning Commission meeting via electronic means. Thus, even if four members of the Planning Commission meet in person, if the fifth joins the meeting via Zoom, the meeting will be a teleconference meeting that must be conducted in accordance with the requirements of AB 361.

For purposes of AB 361 “...’state of emergency’ means a state of emergency proclaimed pursuant to Section 8625 of the California Emergency Services Act...” Cal. Gov’t Code Sec. 54953(e)(4). Section 8265 of CESA in turn refers to a state of emergency proclaimed by the Governor
Cal Gov’t Code Sec. 54953(e)(3)

DISCUSSION

Required Findings

The teleconference provisions in AB 361 may only be utilized as long as a Governor-proclaimed state of emergency remains active, or while state or local officials have recommended measures to promote social distancing. When either of those is the case (both are true at this time), then in order to continue to teleconference using the new provisions of AB 361, the Planning Commission must make the following findings by majority vote every 30 days:

(A) The Planning Commission has reconsidered the circumstances of the state of emergency; and

(B) Either of the following circumstances exist:

- i. The state of emergency continues to directly impact the ability of the members to meet safely in person; or
- ii. State or local officials continue to impose or recommend measures to promote social distancing.

To comply with that requirement, the recommended action would have the Planning Commission find each of the following:

- a. A state of emergency has been proclaimed by California’s Governor due to the COVID-19 pandemic, and continues to be in effect;
- b. The Planning Commission has reconsidered the circumstances of the state of emergency; and
- c. State and local officials continue to recommend measures to promote social distancing to slow the spread of COVID-19.

The “Every 30 Days Thereafter” Requirement

As noted above, AB 361 findings must be made “no later than 30 days after teleconferencing for the first time pursuant to , and every 30 days thereafter...”

In order to preserve the option for the Planning Commission or individual members of the Planning Commission to participate in meetings during the pandemic via teleconference in the future, the Planning Commission will have to adopt the required findings at least every 30 days.

Potential Consequence of Not Making the Findings Every 30 Days

AB 361 does not expressly state what happens if a legislative body fails to make the required findings “every 30 days.” However, it expressly requires the timely re-approval of the findings

“in order to continue to teleconference” in the manner that AB 361 authorizes.

As a result, if the Planning Commission does not adopt the required findings every 30 days, then the Planning Commission could be precluded from continuing to teleconference thereafter, perhaps even if the Planning Commission was later willing to adopt the findings at a later date. For this reason, the City Attorney recommends that the Planning Commission adopt the required findings at this time and at least every 30 days thereafter, unless the Planning Commission decides as a permanent matter that it will no longer permit teleconferencing at all (e.g., regardless of whether the state of emergency worsens).

Procedural Requirements for The Conduct of Teleconference Meetings

AB 361 contains several new requirements for the conduct of teleconference meetings with which the City has prepared to comply. Specifically, each meeting must:

1. Allow members of the public to attend and comment at the meeting via call-in option or internet-based service option;
2. Protect the statutory and constitutional rights of the parties and the public appearing before the legislative body;
3. In the event of disruption which prevents broadcasting the meeting or which prevents members of the public from offering public comments via the call-in or internet-based option, the Planning Commission must take no further action until the disrupted public access is restored;
4. The City may not require public comments to be submitted in advance, and must offer the opportunity for the public to offer comments “in real time” during the meeting; and
5. The public must be allowed “a reasonable amount of time per agenda item to allow members of the public to provide public comment, including time for members of the public to register , or otherwise be recognized for the purpose of providing public comment.

FISCAL IMPACT

None.

Attachment: None

City of Los Alamitos

PLANNING COMMISSION AGENDA REPORT

MEETING DATE: August 24, 2022

ITEM NUMBER: 6A

To: Chair DeBolt & Members of the Planning Commission

Presented By: Tom Oliver, Associate Planner

Subject: Conditional Use Permit (CUP) 22-03 - Continued Consideration of a Secondhand Store in the General Commercial (C-G) Zone 10582 Los Alamitos Boulevard

SUMMARY

Continued consideration of a Conditional Use Permit (CUP 22-03) to allow a Secondhand Store to be permitted at 10582 Los Alamitos Boulevard in the General Commercial (C-G) Zoning District. This is to permit a move of "Play It Again Sports" from a prior location in the City at 4141 Katella Avenue.

RECOMMENDATION

1. Open the Public Hearing; and,
2. Take testimony; and,
3. Adoption of Resolution No. 22-XX, entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT 22-03 TO OPERATE A 3,000 SQUARE FOOT SECONDHAND SHOP IN A COMMERCIAL BUILDING AT 10582 Los Alamitos Blvd., IN THE GENERAL-COMMERCIAL (C-G) ZONING DISTRICT, APN 242-242-01. (APPLICANT: WILLIAM A. PHILLIPS);" or alternatively,
4. Continue the item to the September 28, 2022 Planning Commission meeting.

BACKGROUND

Applicant: William Phillips – Play It Again Sports

Location: 10582 Los Alamitos Blvd., Los Alamitos CA 90720

Environmental: A Class 1 Categorical Exemption, pursuant to Section 15301(a) – Existing Facilities, will be prepared for the proposed project in accordance with the California Environmental Quality Act. The proposed use is in an existing building and will include only interior alterations involving such things as interior partitions, plumbing, and electrical conveyances, and no exterior modifications;

Approval Criteria: Section 17.10.020 (Land Uses and Permit Requirements), Table 2-04 (Allowed Uses and Permit Requirements) of the Los Alamitos Municipal Code (LAMC) allows

Personal Services - Restricted in the General Commercial (C-G) Zoning District with the approval of a Conditional Use Permit.

Noticing: The Public Hearing Notice for this meeting was mailed out on July 13, 2022, to property owners and commercial tenants within 500 feet of the subject parcel. Additionally, the Public Hearing Notice was published in the News Enterprise on July 13, 2022.

Prior Actions: None for this unit.

Background:

An application has been filed, by William Phillips, for a Conditional Use Permit (CUP 22-03) to operate a secondhand sporting goods shop located at 10582 Los Alamitos Boulevard, between Sausalito Street and Cerritos Avenue. This is a move of the Play It Again Sports franchise store that used to be located at 4141 Katella Avenue. The Applicant has already moved into the space and had not applied for a business license or new CUP for quite a long period. Secondhand stores require a Conditional Use Permit to locate in the General Commercial Zone.

The City's municipal code, in LAMC 17.74.180, defines secondhand store as "Defined and regulated as "Personal Services, Restricted" and further, a business involved in the retail sale of used goods and merchandise such as a thrift store or consignment, whereby the sale of such used goods and merchandise comprise 25 percent or more of total monthly sales volume. This definition does not include pawn shops and swap meets." That said, secondhand stores are also called out in the prohibited uses of LAMC 17.10.020. This prohibition was intended to restrict "Pawn Shops," therefore the less restrictive "Personal Services, restricted" land use is what this business will be considered.

The Planning Commission first discussed this proposed project on July 27, 2022, where Commissioners suggested that Mr. Phillips meet with Staff and discuss solutions to Mr. Phillip's Code Enforcement issues, and then recommended that the Applicant return to the August 24, 2022 meeting.

DISCUSSION

The Applicant has had various code enforcement issues recently such as outdoor sales of merchandise and a storage container in the parking lot that needs to be removed. The applicant has not complied with removing the storage container up to the writing of this report. Should the applicant not comply with the Municipal Code concerning the storage container or other violations, by the opening of tonight's meeting, Staff recommends that the Commission continue this hearing to the next regularly scheduled meeting date or until the applicant has settled this matter.

FISCAL IMPACT

None.

- Attachment:
1. PC Reso 2022-09 with Exhibit A
 2. CUP 22-03 - 07-27-22 Staff Report

RESOLUTION NO. 2022-09

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT 22-03 TO OPERATE A 3,000 SQUARE FOOT SECONDHAND SHOP IN A COMMERCIAL BUILDING AT 10582 LOS ALAMITOS BLVD., IN THE GENERAL-COMMERCIAL (C-G) ZONING DISTRICT, APN 242-242-01. (APPLICANT: WILLIAM A. PHILLIPS).

WHEREAS, an application for a Conditional Use Permit was submitted by the Applicant to allow a Secondhand shop at 10582 Los Alamitos Blvd.; and,

WHEREAS, said verified application constitutes a request as required by Section 17.10.020, Table 2-04 of the Los Alamitos Municipal Code; and,

WHEREAS, the Planning Commission considered said application at a duly noticed public hearing on July 27, 2022; and,

WHEREAS, at this public hearing, the Applicant, Applicant's representatives and members of the public were provided the opportunity to present written and oral testimony.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Los Alamitos, California, finds that the above recitals are true and correct.

SECTION 2. Conditional Use Permit is hereby approved to allow a 3,000 square foot secondhand shop on the subject property based upon the following findings:

A. The proposed use is consistent with the General Plan and any applicable specific plan; The proposed use location is within the Retail Business General Plan designation. While not mentioned as a goal of the General Plan, this is a use that can operate in this area when permitted through a Conditional Use Permit, and it does not conflict with other uses in this area.

B. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Code and the Municipal Code; Los Alamitos Municipal Code (LAMC), Section 17.10.020, Table 2-04 (Allowed Uses and Permit Requirements for Commercial and Industrial Zones) requires Planning Commission approval of a Conditional Use Permit to allow "Personal Services, Restricted" in the C-G Zoning District. LAMC 17.74.180, defines secondhand store as:

"Defined and regulated as 'Personal Services, Restricted'" and further, "a business involved in the retail sale of used goods and merchandise such as a thrift store or

consignment, whereby the sale of such used goods and merchandise comprise 25 percent or more of total monthly sales volume. This definition does not include pawn shops and swap meets.”

C. The design, location, size, and operating characteristics of the proposed activity will be compatible with the existing and future land uses in the vicinity; this proposed location is in the General Commercial (C-G) zone, in a building has had retail type businesses without incident in the past, and is a good fit for the location.

D. The site is physically suitable in terms of:

1. Its design, location, shape, size, and operating characteristics of the proposed use to accommodate the use, and all fences, landscaping, loading, parking, spaces, walls, yards, and other features required to adjust the use with the land and uses in the neighborhood; The building on this parcel was constructed years ago, and all of the previously mentioned characteristics were designed to meet the development standards that were current at the time for a commercial retail type of building. The proposed secondhand sales of sporting goods will be contained entirely within the walls of the existing commercial space. Parking is adequate to accommodate the proposed use. Any Interior tenant improvements are required to be reviewed by the City’s Building Department and the Orange County Fire Authority for compliance with building and safety standards for the structure.
2. Streets and highways adequate in width and pavement type to accommodate public and emergency vehicle (e.g., fire and medical) access; The unit proposed for this business in this commercial area was originally built to meet the codes of the time. All access, as well as emergency access were designed to meet that year’s current access standards for an commercial building, and have been upgraded from time to time through the years, therefore, the streets are adequate for public and emergency vehicle access.
3. Public protection services (e.g., fire protection, police protection, etc.); This unit in the General Commercial Zone has historically been served by public protection services without interruption.
4. The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.). This unit has historically been served by adequate utility services without interruption.

E. The measure of site suitability shall be required to ensure that the type, density, and intensity of use being proposed will not adversely affect the public convenience, health, interest, safety, or general welfare, constitute a nuisance, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located. This property is the type of location where this use and

the other uses on the same property are typically found throughout the local region. The Applicant will be required, as with any other business owner in the City, to ensure that the business complies with the noise ordinances of the City of Los Alamitos.

1. The use, as a secondhand shop as conditioned, will not endanger the public health or general welfare if the use is located at 10582 Los Alamitos Blvd. The use will not foster circumstances that tend to generate nuisance condition because the site is located two hundred and thirty-five (289) feet away from the nearest residential parcel. The residential area to the southeast is buffered by Los Alamitos Blvd., and the property is 1,163' from the nearest park.
2. The proposed use as a secondhand dealer will be located in a general commercial area and is a conditionally permitted use within the General Commercial (C-G) Zoning District. The (C-G) Zoning District permits secondhand uses provided that the use is found to be compatible and harmonious with surrounding uses with the approval of a Conditional Use Permit.
3. The proposed secondhand use is compatible with similar uses located in the General Commercial (C-G) Zoning District and is surrounded by retail, service, and restaurant uses, and is in harmony with those uses. The proposed use will fulfill a need of families with children who participate in sports in the area and have few businesses where they can purchase needed equipment.
4. The decision to approve the Conditional Use Permit is based on review by the Planning Commission of the plans and specifications submitted for the proposed project and on testimony given at the public hearing before the Planning Commission.

SECTION 3. Pursuant to CEQA Guidelines Section 15301, the proposed project is exempt from CEQA under the Class 1 (*Existing Facilities*) categorical exemption since the proposed expansion will occupy an existing tenant space within a developed commercial area that will not increase the existing building footprint beyond the existing area. Existing access and parking will not be modified with the proposed application. Therefore, approval of the project will not result in significant adverse effects relating to traffic, noise, air quality, or water quality.

SECTION 4. Based upon such findings and determinations, the Planning Commission hereby approves the application described above to the following conditions:

Planning Division

1. Approval of this application is to allow a 3,000 square foot secondhand store at 10582 Los Alamitos Blvd., with such additions, revisions, changes or modifications as required by the Planning Commission pursuant to approval of CUP 22-03 noted thereon, and on file in the Development Services

Department (Exhibit A). Subsequent submittals for this project shall be consistent with such plans and in compliance with the applicable land use regulations of the Los Alamitos Municipal Code. If any changes are proposed regarding the location or alteration of this use, a request for an amendment of this approval must be submitted to the Development Services Director. If the Development Services Director determines that the proposed change or changes are consistent with the provisions and spirit of intent of this approval action, and that such action would have been the same with the proposed change or changes as for the proposal approved herein, the amendment may be approved by the Development Services Director without requiring a public meeting.

2. Any proposal to expand the use beyond that which is shown in the relevant drawings and all documents that are a part of this application that are included in this approval shall require a modification to be approved by the Planning Commission.
3. The Applicant shall defend, indemnify, and hold harmless the City of Los Alamitos, its agents, officers, or employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the City, its legislative body, advisory agencies or administrative officers the subject application. The City will promptly notify the Applicant of any such claim, action or proceeding against the City and the Applicant will either undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the Applicant's consent, but should it do so, the City shall waive the indemnification herein, except the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
4. Approval of the Conditional Use Permit shall be valid for a period of eighteen (18) months from the date of determination. If the use approved by this action is not established within such time period, such approval shall be terminated and shall thereafter be null and void.
5. Failure to satisfy and/or comply with the conditions herein may result in a recommendation to the Planning Commission and/or City Council for revocation of this approval.
6. Prior to permit issuance, the Applicant, and Applicant's successors in interest, shall be responsible for payment of all applicable fees.
7. Prior to permit issuance, the property owner and Applicant shall file an Agreement Accepting Conditions of Approval with the Development

Services Department. The property owner and Applicant shall be required to record the agreement with the Office of the Orange County Recorder and proof of such recordation shall be submitted to the Development Services Department.

8. The Applicant shall apply for a new background check with the Police Department and receive an updated City Secondhand Dealers License prior to receiving a business license for this business.
9. The Applicant shall abide by the codes for secondhand dealers instituted in Los Alamitos Municipal Code 5.36 (Pawnbrokers and Secondhand Dealers).
10. This Conditional Use Permit cannot convert at some later date into a pawn shop. This permit allows for the resale of sporting goods only. No gun sales shall be permitted.
11. Business operation shall be conducted only between the hours of 8:00 a.m. and 9:00 p.m. daily.
12. All landscaping in the site, including, without limitation, trees, shrubs and other vegetation, drainage and irrigation systems, shall be permanently maintained in good, first class condition, healthy, without deterioration, free of waste and debris, through all phases of construction, and after by the Owner of the property. Dead or diseased plants shall be promptly replaced with landscaping similar in type, size and quality. Automatic irrigation systems shall be properly maintained and other reasonable and adequate landscape maintenance facilities and procedures shall be provided to fulfill the foregoing requirements.
13. The Applicant agrees to maintain the site per Section 17.24.070 of the Los Alamitos Municipal Code.
14. Any signs shall comply with the provisions under Chapter 17.26 of the Los Alamitos Municipal Code and/or any Planned Sign Program that pertains to the subject property and shall be subject to the approval of the Director.
15. Applicant shall comply with applicable City, County, and/or State regulations.
16. There shall be no outdoor sales of merchandise.
17. There shall be no outdoor storage of items or storage containers on the property.

Building Division

18. The Applicant/operator shall submit complete plans, including necessary engineered drawings, for plan check prior to building permit application for any tenant improvements.

Code Enforcement

19. The tenant shall contact the City if they intend to erect any signs, banners, flags, or other similar items in conjunction with the operation of this business to obtain a permit for those uses.
20. No outdoor sales or displays will be permitted.

Orange County Fire Authority

21. The tenant use and tenant improvements shall be in compliance with Orange County Fire Authority regulations and will obtain all required permits.
22. The Applicant shall not store anything above six feet in rack/shelf/or floor storage in the store or storeroom.

Los Alamitos Police Department

23. In accordance with Chapter 5.36 PAWNBROKERS AND SECONDHAND DEALERS, Applicant will be required to annually obtain a Secondhand Dealers Permit from the City.
24. The Applicant agrees to comply with all the requirements described in Municipal Code Chapter 5.36 concerning "Secondhand Dealers."
25. Applicant shall be required to keep business inventory and transaction records subject to inspection by the Chief of Police or his designee. All consignment item records shall contain the following: name, address, and phone number of the person placing the item on consignment, as well as record of a valid government issued identification.
26. The Applicant shall install a video surveillance system for security purposes.

SECTION 5. The Secretary of the Planning Commission shall forward a copy of this Resolution to the Applicant and any person requesting the same and shall certify as to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED this 24th day of August, 2022.

Art DeBolt, Chair

ATTEST:

Ron Noda, Secretary

APPROVED AS TO FORM:

Michael Daudt, City Attorney

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss
CITY OF LOS ALAMITOS)

I, Ron Noda, Planning Commission Secretary of the City of Los Alamitos, do hereby certify that the foregoing Resolution was adopted at a regular meeting of Planning Commission held on the 24th day of August 2022, by the following vote, to wit:

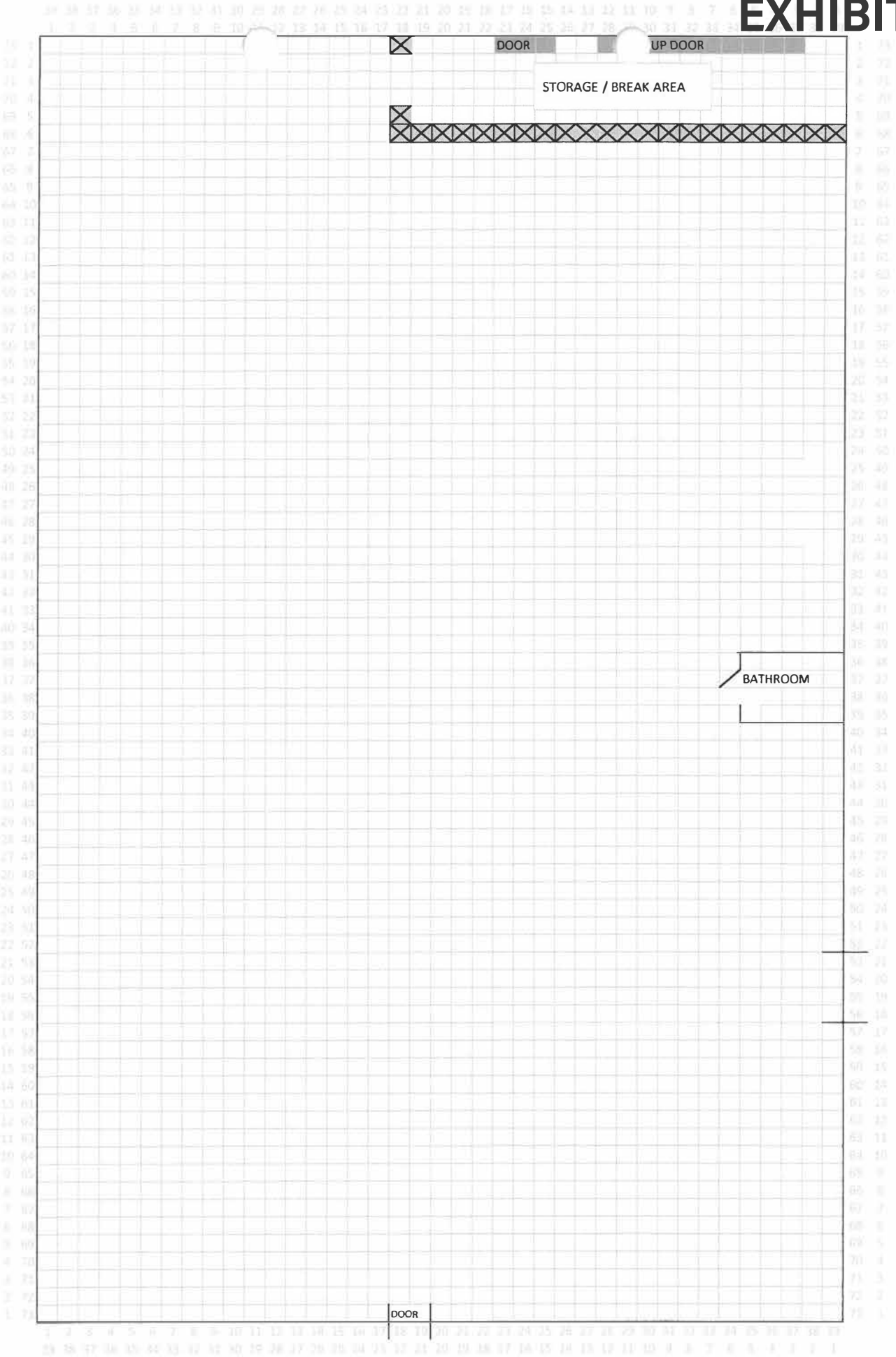
AYES:

NOES:

ABSENT:

ABSTAIN:

Ron Noda, Secretary



City of Los Alamitos

PLANNING COMMISSION AGENDA REPORT

MEETING DATE: July 27, 2022

ITEM NUMBER: 6B

To: Chair DeBolt & Members of the Planning Commission

Presented By: Tom Oliver, Associate Planner

Subject: Conditional Use Permit (CUP) 22-03

SUMMARY

Consideration of a Conditional Use Permit (CUP 22-03) to allow a secondhand store to be permitted at 10582 Los Alamitos Blvd. in the General Commercial (C-G) Zoning District. This is to permit due to the relocation of "Play It Again Sports" from a prior location in the City at 4141 Katella Avenue.

RECOMMENDATION

1. Open the Public Hearing; and,
2. Take testimony; and,
3. Adoption of Resolution No. 2022-09, entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT 22-03 TO OPERATE A 3,000 SQUARE FOOT SECONDHAND SHOP IN A COMMERCIAL BUILDING AT 10582 LOS ALAMITOS BLVD., IN THE GENERAL-COMMERCIAL (C-G) ZONING DISTRICT, APN 242-242-01. (APPLICANT: WILLIAM A. PHILLIPS)."

BACKGROUND

Applicant: William Phillips – Play It Again Sports

Location: 10582 Los Alamitos Blvd., Los Alamitos CA 90720

Environmental: A Class 1 Categorical Exemption, pursuant to Section 15301(a) – Existing Facilities, will be prepared for the proposed project in accordance with the California Environmental Quality Act. The proposed use is in an existing building and will include only interior alterations involving such things as interior partitions, plumbing, and electrical conveyances, and no exterior modifications;

Approval Criteria: Section 17.10.020 (Land Uses and Permit Requirements), Table 2-04 (Allowed Uses and Permit Requirements) of the Los Alamitos Municipal Code (LAMC) allows Personal Services - Restricted in the General Commercial (C-G) Zoning District with the approval of a Conditional Use Permit.

Noticing: The Public Hearing Notice for this meeting was mailed out on July 13, 2022, to property owners and commercial tenants within 500 feet of the subject parcel. Additionally, the Public Hearing Notice was published in the News Enterprise on July 13, 2022.

Prior Actions: None for this unit.



An application has been filed, by William Phillips, for a Conditional Use Permit (CUP 22-03) to operate a secondhand sporting goods shop located at 10582 Los Alamitos Boulevard, between Sausalito Street and Cerritos Avenue. This is a move of the Play It Again Sports franchise store that used to be located at 4141 Katella Avenue. The Applicant has already moved into the space and had not applied for a business license or new CUP. Secondhand stores require a Conditional Use Permit to be located in the General Commercial Zone. Mr. Phillips has already had a background check performed and approved by the Police Department for the Secondhand Dealer permit.

The City's municipal code, in LAMC 17.74.190, defines secondhand store as "Defined and regulated as 'Personal Services, Restricted' and further, "a business involved in the retail sale of used goods and merchandise such as a thrift store or consignment, whereby the sale of such used goods and merchandise comprise 25 percent or more of total monthly sales volume. This definition does not include pawn shops and swap meets." That said, secondhand stores are also called out in the prohibited uses of LAMC 17.10.020. This prohibition was intended to restrict "Pawn Shops," therefore the less restrictive "Personal Services, restricted" land use is what this business will be considered in this report.

Play It Again Sports is a chain located in many locations across the country. Mr. Phillips has conveyed to Staff that approximately 85% of the merchandise that they sell is new and only an approximate 15% is used sporting goods. The Play It Again Sports website describes their process as:

"We Buy All Day, Every Day." With no appointment necessary, it's fast and easy for you to sell the used sports equipment and fitness gear you're no longer using. We buy a wide

variety of quality used sporting goods and are always stocking up, so there's always something new in-store. You may never outgrow your favorite sports — but you may outgrow your equipment. We provide athletes of every age a place to sell their quality used gear.

Bring It In Gather up the sports and fitness gear you aren't using anymore and stop in, no need to make an appointment.

We'll Check It Out Browse the great used and new gear we have in-store every day while we review your items based on condition and demand."

DISCUSSION

Compatibility with the Surrounding Area

The adjacent properties are developed and zoned as follows:

North: Developed with ABC Pools and Supplies, across a storage lot, in the General Commercial (CG) zone.

East: Developed as Gemini Forest Products lumber yard in the Planned Light Industrial (P-L-I) Zone.

South: Developed with the Fairfield Marriott Hotel in the General Commercial (G-C) Zoning District.

West: Developed with the Best Western Hotel across Los Alamitos Blvd. in the General Commercial Zone (C-G).

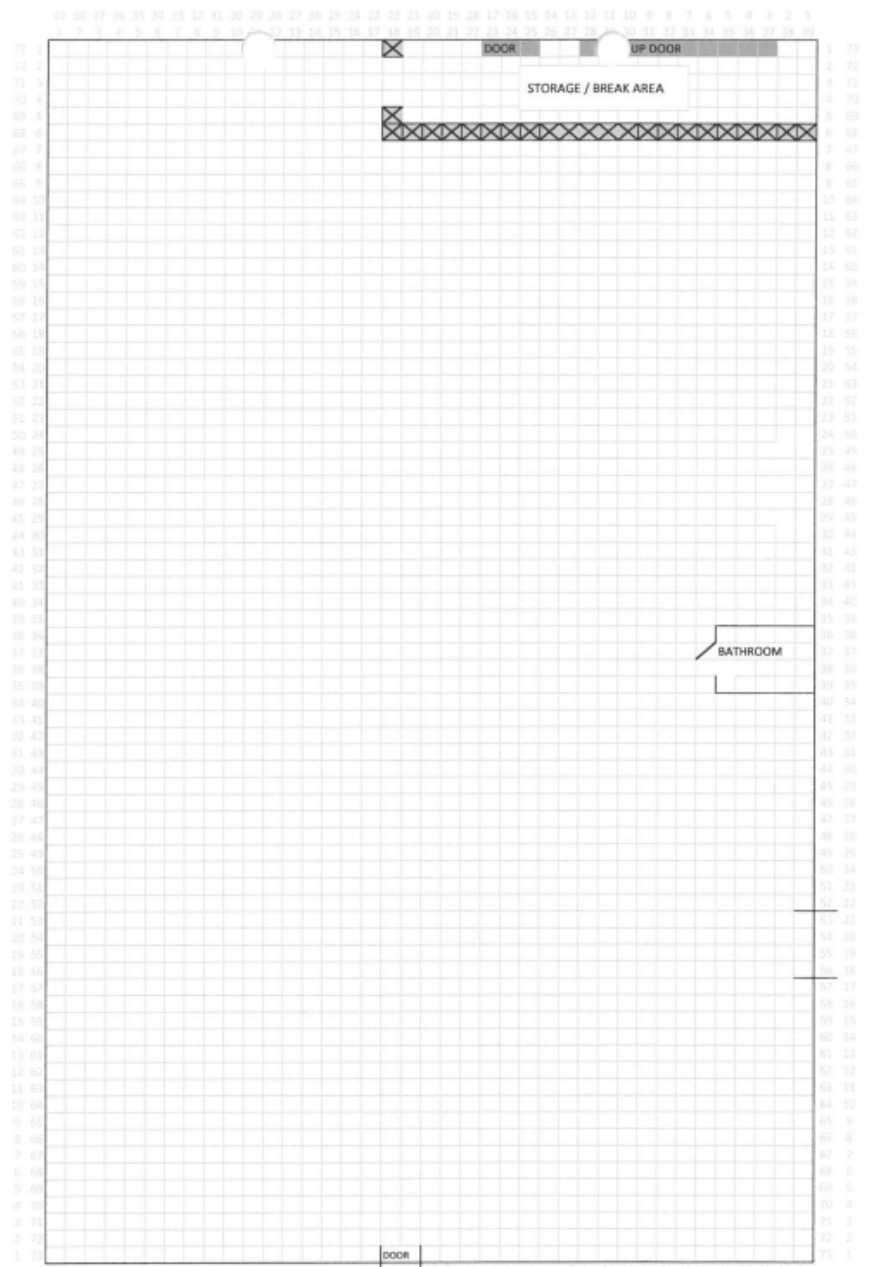
The New England Divers Scuba shop previously occupied the building. Pursuant to LAMC Section 17.10.020, the proposed secondhand shop requires the approval of a Conditional Use Permit. The purpose of a CUP is to ensure the compatibility of a use in terms of configuration, design, location, and potential impacts of the proposed use, to evaluate the compatibility of the proposed use with the surrounding uses, and the suitability of the use of the site, to ensure the protection of the public convenience, health, interest, safety, and welfare (LAMC Chapter 17.32.070.E).

One CUP finding required to be met by the applicant for this proposed use is that the proposed use will not endanger the public health, safety or general welfare if located where proposed and developed. The location is in a zone (C-G) intended to support retail uses, and the parcel is not next to a residential parcel (289 feet).

Staff reviewed the application, researched the surrounding area, and finds that the proposed use is compatible and harmonious with surrounding uses and that it will not negatively impact the health, welfare or safety of the public. Further, it will not negatively impact the available parking supply to the detriment of the surrounding tenants, nor create excessive noise or vibrations, and therefore does not generate nuisance conditions. The proposed use will fulfill a need of families with children who participate in sports in the area and have few businesses where they can purchase needed sports equipment.

Site Plan/Floor Plan

A rough floor plan of the space is shown below. The tenant space has a storage/break room space, one bathroom, and the tenant has installed new signage.



Parking

The standalone building for the secondhand store use has over 3,000 square feet of gross floor area. There is another building on the property, and together they add up to 10,344 square feet of gross floor area, per the Orange County Assessor. There are four businesses in these two buildings. Three are regular commercial businesses and there is a professional office on the second floor of one of the buildings. All of these uses require one space per 250 square feet of floor area, adding up to 42 spaces, which is less required

than the 45 that exist on site.

Police Department

Although this proposed use is a “second-hand/consignment store” and not a “pawn shop” (defined as a retail establishment that accepts personal property as collateral for loans, as well as offering property for sale to the public), both state law and the Los Alamitos Municipal Code require that any retail sellers of used/pre-owned merchandise (other than vehicles) obtain a second-hand dealer permit.

In accordance with Chapter 5.36 PAWNBROKERS AND SECONDHAND DEALERS, the applicant will be required to annually obtain a Secondhand Dealers Permit from the City which comprises a background check. The applicant has already this background check in the past through the Police Department, but has not had an annual update. Staff has added Condition of Approval No. 8 requiring the Applicant to apply for a new permit. Chapter 5.36 also imposes a number of other requirements that Staff has conditioned in the resolution. This is consistent with state regulations pertaining to second-hand dealers discussed next.

Code Enforcement Issues

Unfortunately, it must be noted that the applicant prematurely moved into the proposed location before addressing this need for a CUP. The Applicant has had various code enforcement issues recently such as outdoor sales of merchandise and a storage container in the parking lot that needs to be removed. The applicant has not complied with removing the storage container up to the writing of this report. Should the applicant not comply with the Municipal Code concerning the storage container or other violations, by the opening of tonight’s meeting, Staff recommends that the Commission continue this hearing to the next regularly scheduled meeting date or until the applicant has settled this matter.

Conclusion:

Staff reviewed the application, researched the surrounding area and finds that the proposed use is compatible and harmonious with surrounding uses and that it will not negatively impact the health, welfare or safety of the public. Further, it will not negatively impact the available parking supply to the detriment of the surrounding tenants, will not create excessive noise or vibrations, and therefore does not generate nuisance conditions. The shop fills a niche in the City that is needed by Los Alamitos parents who need to purchase sporting goods equipment for their children. Staff recommends approval of the Conditional Use Permit, with its conditions of approval.

FISCAL IMPACT

None.

Attachment: 1. PC Resolution 2022-09 with Exhibit A.docx

City of Los Alamitos

PLANNING COMMISSION AGENDA REPORT

MEETING DATE: August 24, 2022

ITEM NUMBER: 6B

To: Chair DeBolt & Members of the Planning Commission

Presented By: Tom Oliver, Associate Planner

**Subject: Site Development Permit (SDP) 22-01
2,932 Sq. Ft. Expansion of Office Building**

SUMMARY

Consideration of a Site Development Permit application for a 2,932 square foot single-story addition to an existing 4,994 square foot office building at Grating Pacific, Inc. (Richard Jimenez – on behalf of Grating Pacific).

RECOMMENDATION

1. Open the Public hearing; and,
2. Take testimony; and,
3. Make the CEQA finding that the project is subject to a Class 1 Categorical Exemption, pursuant to Section 15332, Class 32 (Infill development), has been prepared for the proposed project in accordance with the California Environmental Quality Act; and if appropriate,
4. Adopt PC Resolution No. 2022-10, entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING SITE Development Permit 22-01 TO PERMIT a 2,932 square foot single-story addition of an existing 4,994 square foot office building AT 3651 SAUSALITO STREET IN THE PLANNED LIGHT INDUSTRIAL ZONE (P-M), APN 242-242-04 (APPLICANT: Richard Jimenez for Grating Pacific)."

BACKGROUND

Applicant: Richard Jimenez for Grating Pacific

Project Location: 3651 Sausalito Street, Los Alamitos, CA 90720

Notice: The Public Notice of this meeting was mailed out on August 3, 2022, to property owners and tenants within 500 feet. Additionally, this was published in the News Enterprise on Wednesday, August 3, 2022.

Environmental: A categorical exemption – Section 15332, Class 32 (in-fill development project) will be prepared for the proposed project in accordance with the California Environmental Quality Act (CEQA) Guidelines.

Prior Approvals: SPR 05-05
 SPR 18-01

53,302 Sq. Ft. Warehouse Construction
Office Building Expansion - never Built



Background

Mr. Jiminez has submitted a Site Development Permit application proposing a 2,932 square foot expansion of a 4,994 square foot office building at Grating Pacific, Inc. located at 3651 Sausalito Street. The plan is for the existing building to be expanded through a single story addition. Grating Pacific was approved for a large 2-story addition back in 2018, but that permit expired.

Founded in 1971, Grating Pacific has grown to become the premier fabricating distributor of industrial flooring products in the Western United States. With facilities strategically located in Arizona, Southern California, Central/Northern California, Oregon and Washington, Grating Pacific offers the optimal level of service to points ranging from Alaska to Mexico.

DISCUSSION

The site (3651 Sausalito St.) is located at the eastern end of Sausalito Street and Reagan Street near the post office. It is currently being developed as the headquarters for Grating Pacific Inc. The adjacent properties are developed and zoned as follows:

The area to the north is developed with Industrial Uses in the Planned Light Industrial (P-L-I) Zoning District. The area to the east is developed with Industrial Uses in the Planned Light Industrial (P-M) Zoning District. The area to the south is developed with Industrial Uses in the Planned Light Industrial (P-L-I) Zoning District, including the School District Yard and Post Office. The area to the west is developed with Industrial Uses in the Planned Light Industrial (P-M) Zoning District.

General Plan & Zoning Ordinance

As proposed, the project would be consistent with the General Plan designation and all applicable policies.

The General Plan designation for this property as Planned Industrial which allows for "Light industrial, manufacturing, and office park uses such as research and development, manufacturing, boat building, appliance repair and service, plastic fabrication, and printing plants. Commercial recreation uses are not permitted." However, commercial recreation indoors is now approvable with a Conditional Use Permit.

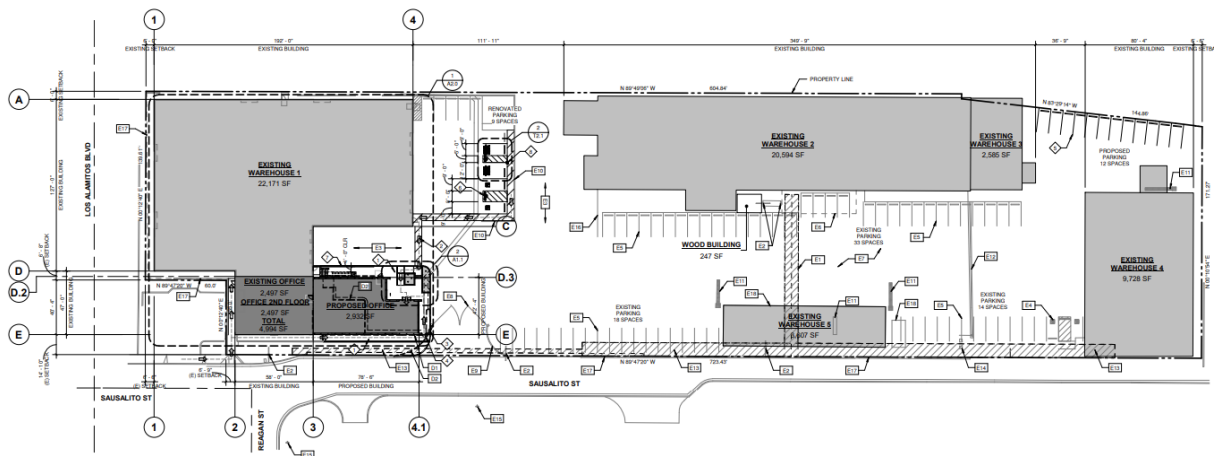
The zoning for the site is Planned Light Industrial (P-L-I). The P-L-I zone was established to accommodate manufacturing, research and development, product assembly, equipment repair, and other light manufacturing businesses that have limited environmental impact in terms of noise, traffic, odors, hazardous materials use/production, and vibration. Other allowed uses include indoor commercial recreation uses such as fitness studios, sports courts/fields, and sports instructional facilities, provided such uses can be found compatible with and not detrimental to the operations of the primary permitted light industrial uses. The regulation of uses and standards of development identified for the P-L-I zone are those deemed necessary to provide the proper environment for industrial businesses, and to provide the proper safeguards to protect nearby residential, commercial, and public uses.

Access and Parking

Vehicle access is gained from the south-side of the property at Sausalito Street. The applicant is proposing 86 stalls, but the Applicant will be required to install 91 altogether in the resolution (Condition # 30), meeting the City's requirements.

Parking Calculation			
Warehouse			
	Sq. Footage	Requirement	Spaces Needed
	22171	1 space per 1000 sq. ft.	22.3
	20594	1 space per 1000 sq. ft.	20.6
	3607	1 space per 1000 sq. ft.	3.6
	2585	1 space per 1000 sq. ft.	2.6
	9728	1 space per 1000 sq. ft.	9.7
Office			
	4994	1 space per 250 sq. ft.	20
	2932	1 space per 250 sq. ft.	11.7
	Total Spaces Needed		90.5

Site Plan



As shown in the table below, the proposed new 2,932 square foot office building expansion meets Zoning Ordinance 17.10.020 *Property Development Standards* for the Planned Light Industrial (P-L-I) Zoning District.

Category	Required/Maximum	Proposed
Floor Area Ratio	1.5	.52
Height Limit	3 stories or 40'	2 stories 30'
Front Setback	15'	14' 10 "
Rear Setback	10'	127'
Side Setback	0'	West 60.6'

Landscaping

The proposed project removes only asphalt or concrete, and landscaping does not meet the minimum landscape requirements that new construction would normally be required. When a building in the industrial zone expands as described in Los Alamitos Municipal Code 13.05.020 as excerpted below. The Director has determined that expanded landscaping is not feasible.

13.05.020.3 Applicability. *“Existing landscapes when alterations or expansions to existing nonresidential development or residential projects are proposed, to the greatest extent feasible, as determined by the director. The approval of a discretionary application for alterations or expansions to an existing nonresidential development or residential projects may include conditions of approval requiring compliance with the requirements of this chapter. This chapter does not apply to changes of use or interior tenant improvements that do not require discretionary approval”*

Architecture and Design

The architecture is demonstrated in the attached plans. The office building expansion will be a precision-faced concrete masonry block building along with undulating windows that will be accented by horizontal fluted metal wall panels and sun screens. The building windows, wall treatments, as well as colors are proposed to be earth tones to blend well with the existing office building. The blue arrow indicates the existing office and the white

arrow indicates the proposed new office.



Conclusion

Staff recommends that the Planning Commission approve the applicant's site plan with the conditions listed in the Resolution. The proposed use complies with the Planned Light Industrial (P-L-I) Development Standards and is consistent with the Planned Industrial Designation of the City's Land Use Element of the General Plan.

FISCAL IMPACT

None.

- Attachment:
1. PC Reso 2022-10
 2. Grating Pacific Existing Site Plan
 3. Grating Pacific Site Plan

PC RESOLUTION NO. 2022-10

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT 22-01 TO PERMIT A 2,932 SQUARE FOOT SINGLE-STORY ADDITION OF AN EXISTING 4,994 SQUARE FOOT OFFICE BUILDING AT 3651 SAUSALITO STREET IN THE PLANNED LIGHT INDUSTRIAL ZONE (P-M), APN 242-242-04 (APPLICANT: RICHARD JIMENEZ FOR GRATING PACIFIC).

WHEREAS, an application for a Site Development Permit was submitted by Richard Jimenez, of JRMA, on behalf of Grating Pacific, the owner at 3651 Sausalito Street for permission to construct a 2,932 square foot addition to a 4,994 square foot office building on a 3.93-acre property; and,

WHEREAS, said verified submission constitutes an application as required by Chapter 17.44 Site Development Permit of the Los Alamitos Municipal Code (LAMC); and,

WHEREAS, the Planning Commission considered said application at a duly noticed public hearing on August 24, 2022; and,

WHEREAS, at this public hearing the applicant, applicant's representatives, and members of the public were provided the opportunity to present written and oral testimony.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Los Alamitos, California finds that the above recitals are true and correct.

SECTION 2. The Planning Commission hereby makes the following findings made in accordance with Section 17.44.060 of the LAMC, which is based on all of the evidence presented, both written and oral;

1. The proposed project is allowed within the subject zone: Office buildings for offices that are ancillary to an industrial use are a permitted use in the Planned Light Industrial (P-L-I) Zoning District.
2. The proposed project complies with all of the applicable criteria identified in 17.44.030(B) (Application Processing, Filing, and Review—Generally), which include:

i. Compliance with this title and all other applicable City regulations and policies. The proposed project complies with Los Alamitos Zoning Code (Title 17) and all other applicable City regulations and policies.

ii. Efficient site layout and design; The layout and design of the project are sufficient.

iii. Applicable environmental review; Pursuant to the California Environmental Quality Act (CEQA) Guidelines, a categorical exemption for a Section 15332, Class 32, for in-fill development projects, will be prepared for the proposed project in accordance with the California Environmental Quality Act (CEQA) Guidelines.

iv. Compatibility with neighboring properties and developments with regard to setbacks, building heights, massing, location of parking facilities, and similar site design and building design features that shape how a property appears within a broader, definable neighborhood or zone context; The building would be 475 feet south from the nearest residential properties. The building will be optimal in design for this location, and is a style that has become customary in industrial parks. The structure will be newly built and will be easily serviceable. The project area is in the P-L-I zone is intended to accommodate manufacturing, research and development, product assembly, equipment repair, and other light manufacturing businesses that have limited environmental impact in terms of noise, traffic, odors, hazardous materials use/production, and vibration, of which this office will be a small part. The setbacks for the project are similar to currently existing structures on the site.

v. Efficiency and safety of public access and parking and loading facilities; The site already has designated loading spaces. The one vehicular access point for the site is proposed to remain the same off of Biggeman/Sausalito Street.

vi. The compatibility in scale and aesthetic treatment of proposed structures with public areas; The design is in harmony with existing development and has been designed to mimic the attached existing office building. Staff believes that the aesthetic detail is at an admirable level for an industrial area building. It will improve the aesthetics of the existing area.

vii. The adequacy of proposed driveways, landscaping, parking spaces, onsite and off-site parking, pedestrian improvements; The new addition will be adequately accommodated by the on property parking lots and driveways, as well as the City streets surrounding the Grating Pacific campus.

viii. The placement and use of private open spaces; There are no private open spaces added as a part of this project.

ix. The use of design techniques such as façade articulation, use of varied building finishes and materials, varied rooflines, and stepped-back stories to break up building massing; Through similar colors and articulation the existing structure and the new addition to the structure will be made to blend with each other, and suitably interact with nearby buildings on the campus and act as a welcoming entrance to the area.

x. Privacy considerations with regard to the placement and orientation balconies and windows; There is no view or orientation toward residential windows and no problematic window placements toward other industrial buildings.

xi. Appropriate open space and use of water-efficient landscaping both to enhance overall site design and to provide privacy screening; The existing landscaping will not be replaced and therefore will not be required to comply with the City's water conservation ordinances in accordance with Chapter 13.04 (Water Conservation), Chapter 13.05 (Water Efficient Landscaping) of the Los Alamitos Municipal Code, and any provisions in the California Green Code.

xii. Consistency with the General Plan and any applicable specific plan; The use is consistent with the P-L-I Zone, and with the General Plan through policies such as:

Land Use Goal 3: Commercial, office, and industrial opportunities that maintain compatibility with surrounding neighborhoods, businesses, and public facilities.

xiii. Consistency with any adopted design guidelines, policies, and standards applicable to the property and in particular, the provisions of Section 17.08.045 (Design Standards). There are no design guidelines, policies, or standards applicable in this zone.

3. The proposed project is in keeping with the character of the neighborhood, in terms of the structure(s) general appearance; The design and layout of the structure would not interfere with the use and business of neighboring industrial developments.

4. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color, and will remain aesthetically appealing and retain an appropriate level of maintenance; The design of the project and ease of maintenance for this officer building extension would provide

an acceptable environment for the employees, the visiting public, and neighbors through a satisfactory use of materials and texture. This style of office building architecture has become the modern norm for industrial park areas.

The proposed development would not be detrimental to the public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity. (Ord. 19-03 § 3, 2019); The expansion of the office building will not change the character of the industrial area, as office uses are a generally a quiet and inconspicuous land use for a city.

SECTION 3. Based upon such findings and determinations, the Planning Commission hereby approves the application described above subject to the following conditions:

1. Approval of this application is to build a one-story 2,932 square foot addition to a 4,994 square foot two-story office building at 3651 Sausalito Street with such additions, revisions, changes or modifications as required by the Planning Commission for Site Development Permit noted thereon, and on file in the Development Services Department (Exhibit A). Subsequent submittals for this project shall be consistent with such plans and in compliance with the applicable land use regulations of the Los Alamitos Municipal Code. If any changes are proposed regarding the location or alteration of the plans dated 2-16-2022 (as may be amended during the hearing), a request for an amendment of this approval must be submitted to the Development Services Director. If the Development Services Director determines that the proposed change or changes are consistent with the provisions and spirit of intent of this approval action, and that such action would have been the same with the proposed change or changes as for the proposal approved herein, the amendment may be approved by the Development Services Director without requiring a public meeting.
2. Site Development Permit is approved exclusively as precise plans for the structures, materials, and features as shown on the relevant drawings referenced in No. 1, above. Any relocation, alteration, addition to, and/or use of any building or property contrary to the conditions hereunder nullifies this approving action. If any changes are proposed, a request for an amendment of this approval must be submitted to the Development Services Director. If the Development Services Director determines that the proposed change(s) is/are consistent with the provisions, spirit, and intent of this approval action, and that such action would have been the same with the proposed change(s) for the proposal approved herein, the amendment may be approved by the Development Services Director without requiring a public meeting.
3. The duration of the Site Development Permit approval shall be twenty-four (24) months from the date the site plan is approved. If construction is commenced within this twenty-four (24) month period and construction is being pursued

diligently toward completion, the Site Development Permit approval shall stay in full force and effect.

4. The director may, upon receipt in writing from the applicant before the expiration date, grant an extension of time up to twelve (12) months maximum. If an extension of time is not granted, the Site Development Permit approval shall expire and a new application shall be made.
5. The applicant shall defend, indemnify, and hold harmless the City of Los Alamitos, its agents, officers, or employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the City, its legislative body, advisory agencies or administrative officers for the subject application. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent, but should it do so, the City shall waive the indemnification herein, except the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
6. The property owner/applicant shall file an Acknowledgment of Conditions of Approval with the Development Services Department within 30 days of final approval of all resolutions. The property applicant shall be required to record the Acknowledgment of these Conditions of Approval with the Office of the Orange County Recorder and proof of such recordation shall be submitted to the Development Services Department prior to the issuance of any permits.
7. Failure to satisfy and/or comply with the conditions herein may result in a recommendation to the Planning Commission and/or City Council for revocation of this approval.
8. The applicant shall comply with applicable City, County, and/or State regulations.
9. The applicant shall be required to comply with the Seismic Hazards Mapping Act of 1990, including the Guidelines for Evaluating and Mitigating Seismic Hazards in California 1997.
10. All electrical, telephone, CATV and similar utility services, which provide service to the proposed development, shall be installed underground in a manner meeting the approval of the appropriate department or agency, where possible.
11. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees.

12. California Government Section 66020(d)(1) requires that the project applicant be notified of all fees, dedications, reservations and other exactions imposed on the development for purposes of defraying all or a portion of the cost of public facilities related to development. Fees for regulatory approvals, including planning processing fees, building permit fees are not included under this noticing requirement.
13. Pursuant to Government Code Section 66020(d)(1), the applicant is hereby notified that fees, dedications, reservations and other exactions imposed upon the development, which are subject to notification, are as follows:

Fees:	n/a
Dedications:	n/a
Reservations:	n/a
Other Exactions:	n/a

The applicant may appeal the imposition or amount of the fees described above within ninety (90) days following the adoption of this resolution and pursuant to the procedures set forth in the Government Code.

14. The applicant/operator shall submit complete plans, including necessary engineered drawings, for plan check prior to building permit application for any tenant improvements.
15. All demolition and construction shall be done in accordance with Los Alamitos Municipal Code Demolition Chapter 8.13.
16. Project plans for the development shall be subject to a complete code compliance review with the Development Services Department when the plans are submitted for plan check and shall comply with all applicable City of Los Alamitos ordinances, regulations, and policies prior to building permit issuance, including, but not limited to, the requirements established or authorized by Title 15, 16, and 17 of the City of Los Alamitos Municipal Code.
17. The site shall be kept reasonably clean during construction and maintained in a safe, nuisance, and hazard-free condition. Dust control measures shall be employed to include spraying water on dry soil to ensure dust does not migrate onto adjacent properties.
18. During construction the site shall be maintained and kept clear of all trash, weeds, and overgrown vegetation.
19. The project shall comply with all requirements of Chapter 17.20, Noise Control, of the Los Alamitos Municipal Code.

20. Hours and days of demolition, grading, and construction operations shall be prohibited between the hours of 8:00 P.M. and 7:00 A.M. on weekdays and Saturday. There shall be no construction activities on Sunday or a Federal holiday celebrated by the City of Los Alamitos without express approval by the Development Services Director.
21. Periods of construction during which noise levels may have an adverse impact on nearby uses shall be limited as follows: 7:00 a.m. until 8:00 p.m. Monday thru Saturday and not at all on Sunday or federal holidays.
22. Detailed hardscape, landscape, and irrigation plans will be prepared by a licensed landscape architect. Such plans will be designed in accordance with the "Landscape and Irrigation Design Requirements" of the City and approved by the Director prior to the commencement of construction.
23. Landscaping shall comply with the City's water conservation ordinances in accordance with Chapter 13.04 (Water Conservation) and Chapter 13.05 (Water Efficient Landscaping) of the Los Alamitos Municipal Code.
24. The landscape and irrigation plan shall be submitted for review and comply with the City's Xeriscape Ordinance (Ord. No. 563). All required landscaping and irrigation shall be installed prior to the issuance of a Certificate of Occupancy.
25. All landscaping on the site, including, without limitation, trees, shrubs and other vegetation, drainage and irrigation systems, shall be permanently maintained in good, first class condition, healthy, without deterioration, free of waste and debris, through all phases of construction and after. Dead or diseased plants shall be promptly replaced with landscaping similar in type, size, and quality. Automatic Irrigation systems shall be properly maintained and other reasonable and adequate landscape maintenance facilities and procedures shall be provided to fulfill the foregoing requirements.
26. Prior to permit issuance applicant shall submit a lighting plan to the Development Services Department to the satisfaction of the Development Services Director. The applicant shall provide adequate exterior lighting that maintains performance standards as described in Chapter 8.48 *Lighting Performance Standards* in the Los Alamitos Municipal Code.
27. All exterior mechanical equipment shall be screened from view.
28. All utility meters, when not enclosed in a cabinet, shall be screened from view from any place on or off site, by either plant materials or decorative screen, while allowing sufficient access for reading.

29. Any signs shall comply with the provisions under Chapter 17.26 (Signs) of the Los Alamitos Municipal Code and shall be subject to the approval of the Development Services Director.
30. The Applicant shall maintain 91 parking spaces that meet the dimensions required by the City's Municipal Code, on the site, for this approval.

NPDES

31. All water runoff must be designed to infiltrate the ground on the site.
32. Prior to issuance of any Grading or Building Permit and as part of the future development's compliance with the NPDES requirements the project applicant shall enroll electronically through the SMARTS program to comply with the State of California General Construction Permit. Proof of enrollment must be submitted to the City of Los Alamitos before issuance of grading or building permits. Also, a Stormwater Pollution Prevention Plan (SWPPP) shall be reviewed and approved by the City Engineer for water quality construction activities on-site. A copy of the SWPPP shall be available and implemented at the construction site at all times. The SWPPP shall outline the source control and/or treatment control BMPs to avoid or mitigate runoff pollutants at the construction site to the "maximum extent practicable".
33. Prior to issuance of any Grading Permit, the City Engineer and the Building Official shall confirm the Grading Plan specifications stipulate, in compliance with SCAQMD Rule 403, excessive fugitive dust emissions shall be controlled by regular watering or other dust prevention measures as specified in the SCAQMD's Rules and Regulations. In addition, SCAQMD Rule 402, requires implementation of dust suppression techniques to prevent fugitive dust from creating a nuisance off-site. Implementation of the following measures would reduce short-term fugitive dust impacts on nearby sensitive receptors:
 - a) All active portions of the construction site shall be watered twice daily to prevent excessive amounts of dust;
 - b) On-site vehicle speed shall be limited to 15 miles per hour;
 - c) All on-site roads shall be paved as soon as feasible, watered twice daily, or chemically stabilized;
 - d) Visible dust beyond the property line which emanates from the project shall be prevented to the maximum extent feasible;
 - e) All material transported off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust prior to departing the job site; Track-out devices shall be used at all construction site access points; and
 - f) All delivery truck tires shall be watered down and/or scraped down prior to departing the job site.

34. All trucks that are to haul excavated or graded material onsite shall comply with State Vehicle Code Section 23114 (Spilling Loads on Highways), with special attention to Sections 23114(b)(F) and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads. Prior to the issuance of grading permits, the project applicant shall demonstrate to the City of Los Alamitos how the project operations subject to that specification during hauling activities shall comply with the provisions set forth in Sections 23114(b)(F) and (e)(4).
35. Projects less than one acre shall identify on plans or the permit all BMPs that will be used on the project in accordance with the Orange County Construction Runoff Guidance Manual, latest edition. BMPs will be reviewed and approved by the City prior to issuance of the permit.

BUILDING DEPARTMENT

36. The Applicant shall submit grading and building plans for review.

ENGINEERING

37. A City public works permit shall be taken out for all work in public right-of-way prior to start of work. All work shall be done in accordance with APWA Standards and to the satisfaction of the City Engineer and must be completed before issuance of Certificate of Occupancy.
38. A bond or surety device shall be posted with the City in an amount and type sufficient to cover the amount of off-site and on-site work to be done, as approved by the City Engineer.
39. All existing off-site public improvements (sidewalk, curb & gutter, driveways, and street paving) at the development site which are in a damaged condition or are damaged during construction shall be reconstructed in accordance with City standards. (12.04.020).
40. Pad certification by the Design Civil Engineer and Soil Engineer is required prior to the commencement of structural construction.
41. Final compaction report prepared by a qualified Soil Engineer shall be submitted to the City Engineer for review and approval prior to the commencement of structural construction.
42. The Applicant shall submit grading plans and the geotech report for review.
43. The Applicant shall submit a drainage report, if applicable

ROSSMOOR/LOS ALAMITOS SEWER DISTRICT

44. The Applicant shall provide the Sewer District with the engineering plans and proposed sewage flow for the project before connecting to the District's sewer.
45. The Applicant shall comply with all requirements of the Rossmoor/Los Alamitos Area Sewer District for sewer connections and sewer improvements.
46. The Applicant shall pay all applicable Sewer District connection, permit, plan check and inspection fees.

OCFA

47. Plan Submittal: The applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority for review. Approval shall be obtained on each plan prior to the event specified.

48. Prior to issuance of a building permit:

- fire master plan (service code PR145)
- architectural (service codes PR200-PR285), when required by the OCFA "Plan Submittal Criteria Form"
- high-piled storage (service code PR330)
- sprinkler plans (service codes PR420-PR440)

SECTION 4. Based upon such findings and determinations, the Planning Commission hereby approves Site Development Permit 22-01, as represented by the plans and elevations in "Exhibit A" and subject to the conditions herein.

SECTION 5. The Secretary of the Planning Commission shall forward a copy of this Resolution to the applicant and any person requesting the same, and Staff shall file a Notice of Determination with the County Clerk.

PASSED, APPROVED, AND ADOPTED this 24th day of August, 2022, by the following vote:

ATTEST:

Art DeBolt, Chair

Ron Noda, Secretary

APPROVED AS TO FORM:

Michael Daudt, City Attorney

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss
CITY OF LOS ALAMITOS)

I, Ron Noda, Planning Commission Secretary of the City of Los Alamitos, do hereby certify that the foregoing Resolution was adopted at a regular meeting of Planning Commission held on the 24th day of August 2022, by the following vote, to wit:

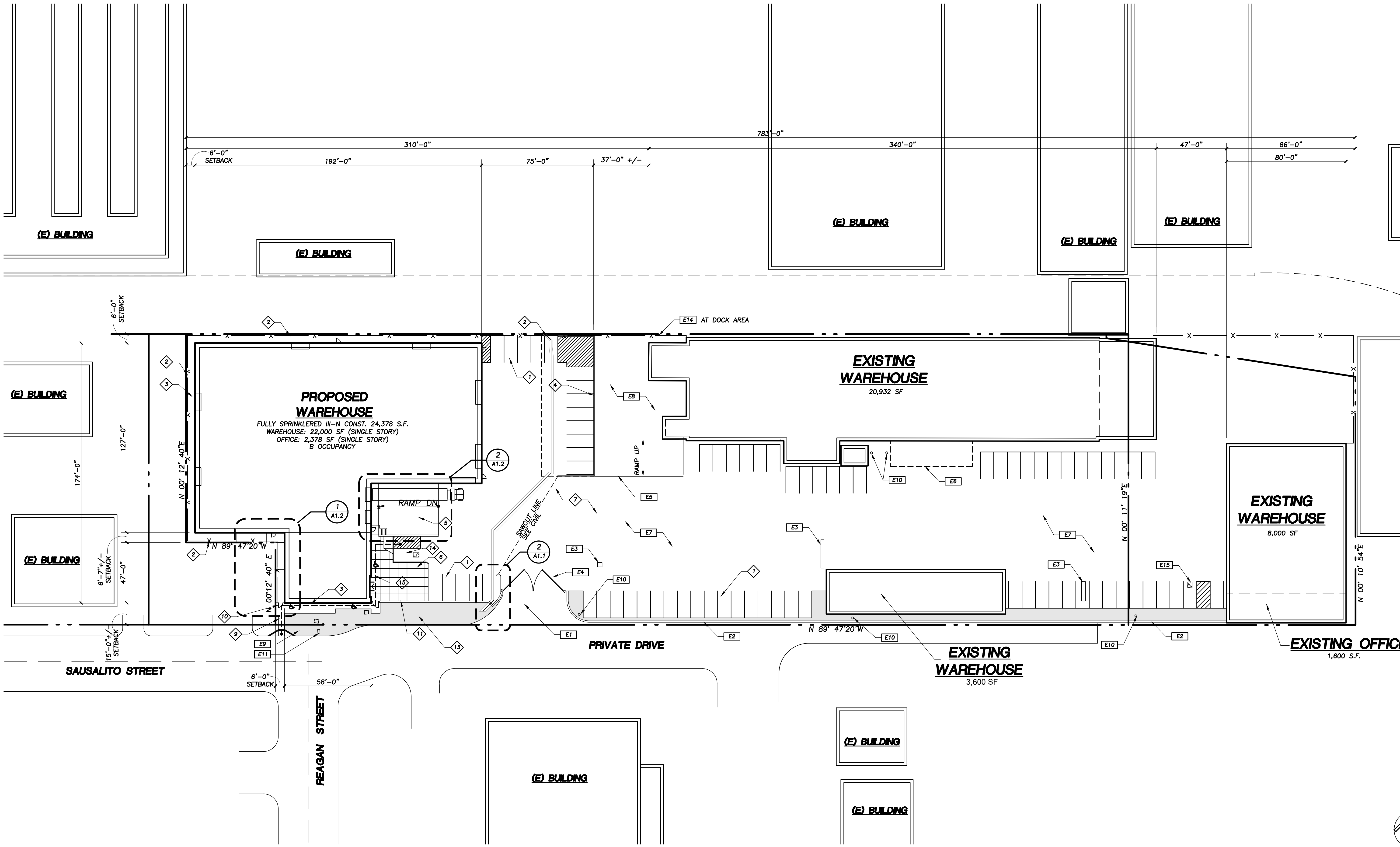
AYES:

NOES:

ABSENT:

ABSTAIN:

Ron Noda, Secretary



EXISTING KEYNOTES	
EXISTING ITEMS TO REMAIN	
E1	EXISTING DRIVEWAY
E2	EXISTING 8' HIGH CMU SCREEN WALL
E3	EXISTING DRAIN WITH SUMP
E4	EXISTING GATE
E5	EXISTING CONCRETE PAD
E6	EXISTING CANOPY
E7	EXISTING PAVING
E8	EXISTING RAISED DOCK TO REMAIN
E9	EXISTING LANDSCAPING
E10	EXISTING POWER POLE
E11	EXISTING WATER METER
E12	EXISTING WATER VAULT
E13	EXISTING MONUMENT SIGN
E14	EXISTING FENCE
E15	EXISTING ADA STALL FOR EXISTING BUILDING

KEYNOTES	
1	PROPOSED 9'x19' STANDARD PARKING STALL
2	PROPOSED 8'-0" HIGH CHAIN LINK FENCE PER CIVIL
3	PROPOSED 4'-0" MIN. WIDE CONCRETE PERIMETER WALKWAY PER CIVIL
4	PROPOSED RETAINING WALL PER CIVIL
5	PROPOSED CONCRETE LOADING DOCK
6	PROPOSED CONCRETE PAVING WITH SAWCUT JOINTS AT 6'-0" O.C. EACH MAX, SEE CIVIL
7	PROPOSED PAVING
8	PROPOSED 8'-0" HIGH CHAIN LINK FENCE
9	PROPOSED 4'-0" WIDE CONCRETE SIDEWALK PER CIVIL
10	PROPOSED 4'-0" WIDE x 8'-0" HIGH CHAIN LINK SWING GATE
11	PROPOSED 8'-0" HIGH CMU WALL PER 1/AD1.1
12	RELOCATED WATER VAULT PER CIVIL
13	LANDSCAPING TO REPLACE EXISTING AFFECTED BY CONSTRUCTION
14	PROPOSED ADA ACCESSIBLE STALL AND CURB RAMP PER 3 AND 4/ AC1.1
15	ACCESSIBLE PATH OF TRAVEL

NOTES

1. REFER TO CIVIL DRAWING FOR HORIZONTAL CONTROL OF BUILDING



**ARCHITECTS
ENGINEERS
PLANNERS**

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Revision	
A	B.D. SUBMITTAL 12.29.05
B	B.D. RESUBMITTAL 02.01.06
C	ISSUE FOR CONSTRUCTION 04.10.06

**PROPOSED
WAREHOUSE
FOR:**

**GRATING
PACIFIC**

3641 SAUSALITO ST.
LOS ALAMITOS, CA

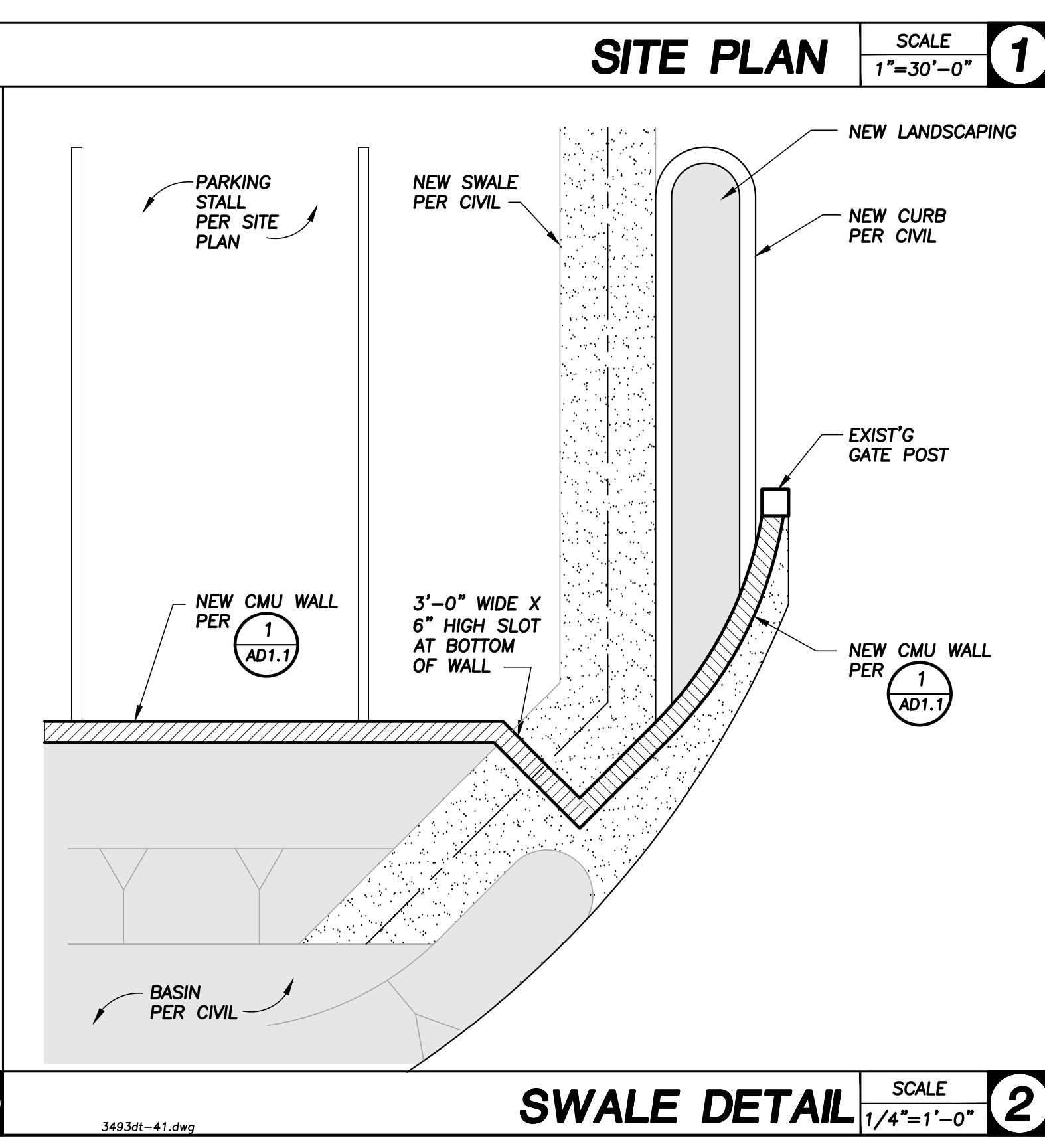
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**SITE
PLAN**

12.29.05 AS NOTED
DATE: RUSC SCALE: DBBY
DWN CHK

JRMA Project No.
3493

A1.1



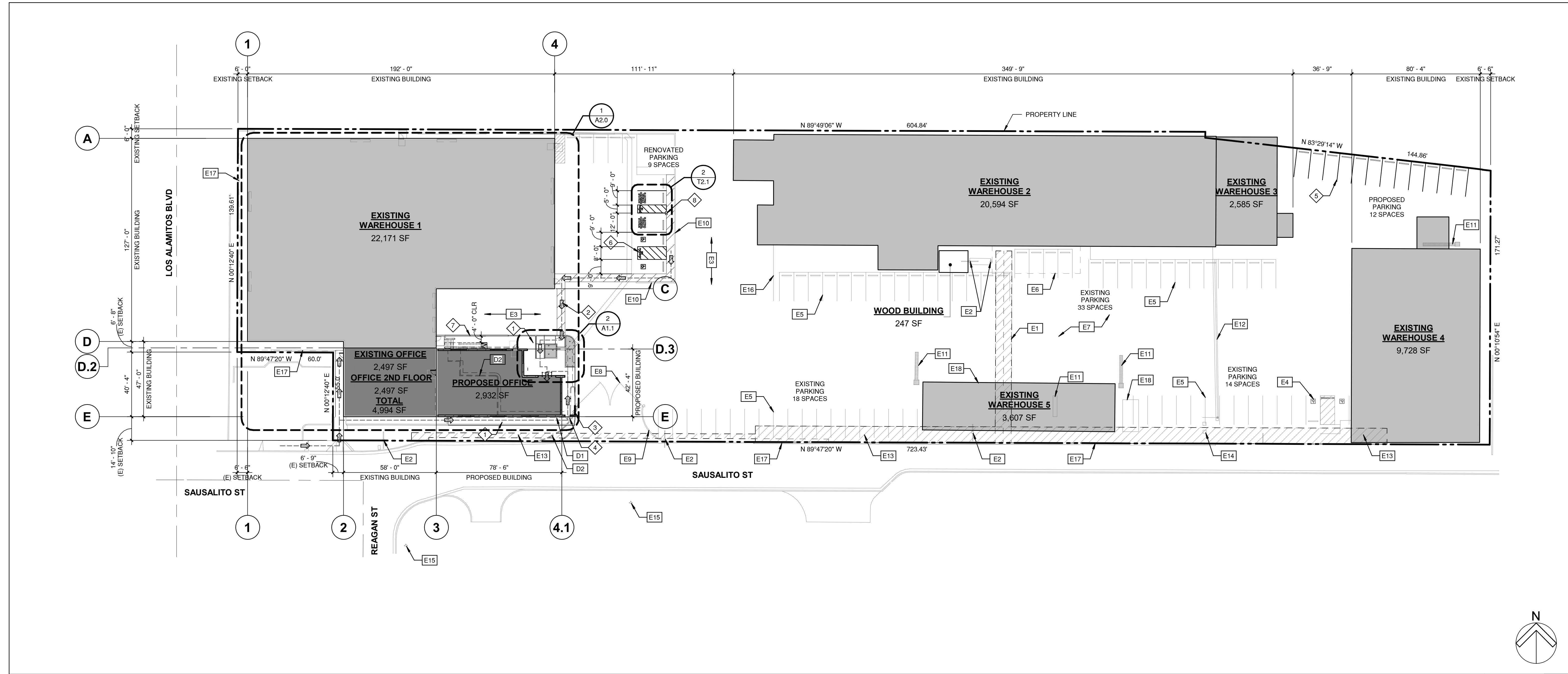
SITE PLAN SCALE 1"=30'-0" **1**

SWALE DETAIL SCALE 1/4"=1'-0" **2**

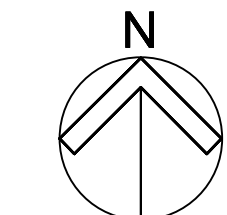
SCALE 1"=30'-0" **3**

SCALE 1"=30'-0" **4**

SCALE 1"=30'-0" **5**



SITE PLAN



SCALE
1" = 30'-0"

1

PROJECT TEAM

OWNER

GRATING PACIFIC
3651 SAUSALITO ST.
LOS ALAMITOS, CA 90720
TEL: 562.598.4314
FAX:
CONTACT: RON ROBERTSON
EMAIL: rrobertson@gratingpacific.com

ARCHITECT

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EMAIL: dax@daxconsultinginc.com

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EMAIL: wilhanna@jrma.com

LANDSCAPE ARCHITECT

RPALA GROUP
32240 PASEO ADELANTO, SUITE D6
SAN JUAN CAPISTRANO, CA 92675
TEL: 949.248.7138
FAX:
CONTACT: RICHARD PRICE
EMAIL: rprice@rpala.com

PROJECT DESCRIPTION

PROPOSED DEVELOPMENT OF SECOND STORY OFFICE IN EXISTING WAREHOUSE BUILDING. 5,883 SF SINGLE STORY CONCRETE MASONRY UNIT OFFICE EXPANSION.

SITE INFORMATION

ASSESSORS PARCEL NO: 242-242-04 & 242-242-05
SITE AREA: 3.93 ACRES
GENERAL PLAN DESIGNATION: P-M (PLANNED LIGHT INDUSTRIAL)
BUILDING FLOORS: 2-STORY (EXISTING) 1 STORY (NEW EXPANSION)
HEIGHT: 30'-0" (EXISTING)
18'-0" (NEW EXPANSION)

BUILDING INFORMATION

CONSTRUCTION TYPE: III-B
SPRINKLERED: YES
OCCUPANCY: B (OFFICE)

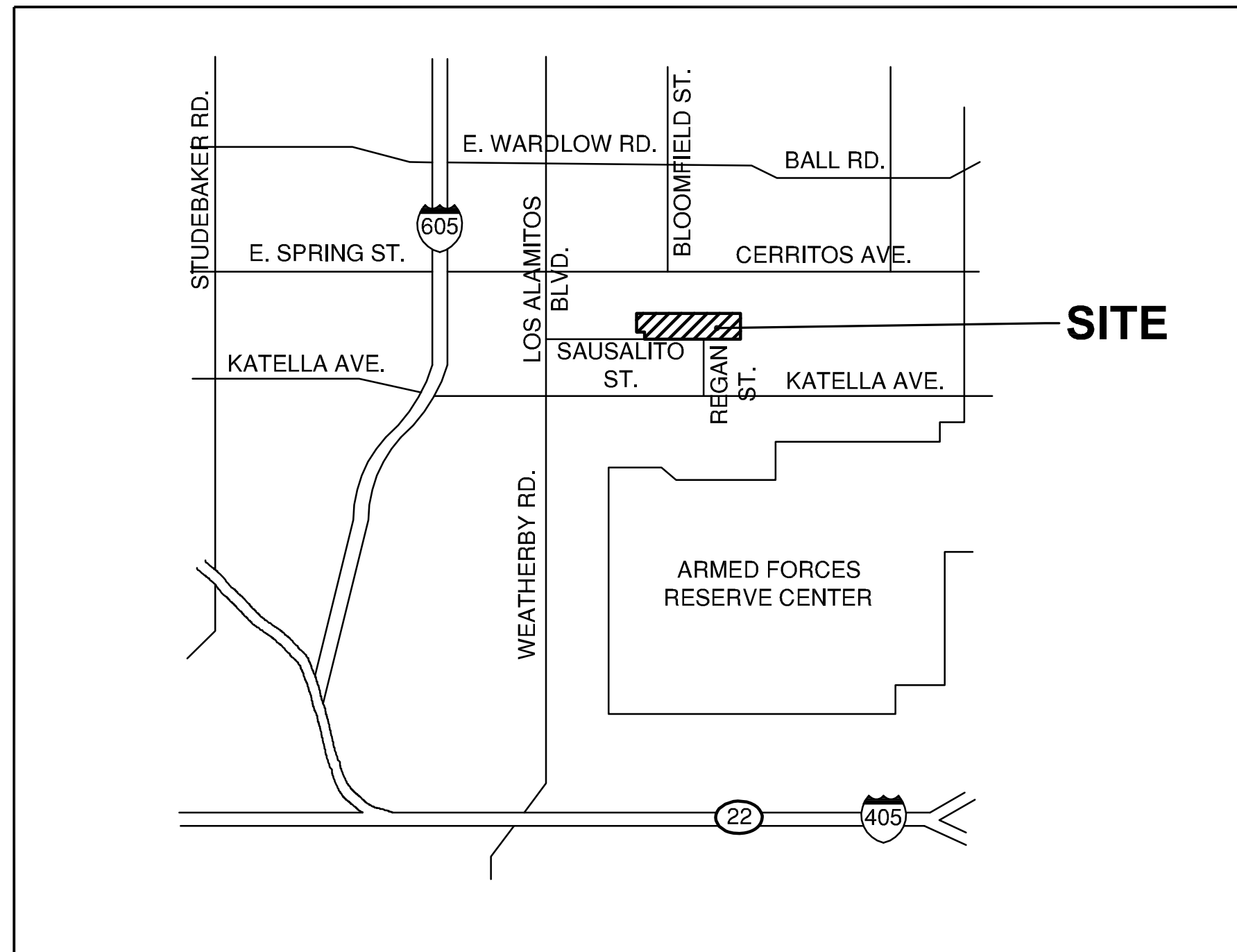
SITE SUMMARY

TOTAL LOT AREA	171,191 SF	100%
BUILDING AREA	63,954 SF	37%
LANDSCAPE AREA	6,875 SF	4%
HARDSCAPE AREA	100,362 SF	59%

BUILDING AREA SUMMARY

TOTAL BUILDING AREA	61,383 SF	100%
EXISTING WAREHOUSE	53,335 SF	87%
EXISTING OFFICE	2,497 SF	4%
PROPOSED OFFICE	3,054 SF	5%
OFFICE SECOND FLOOR	2,497 SF	4%

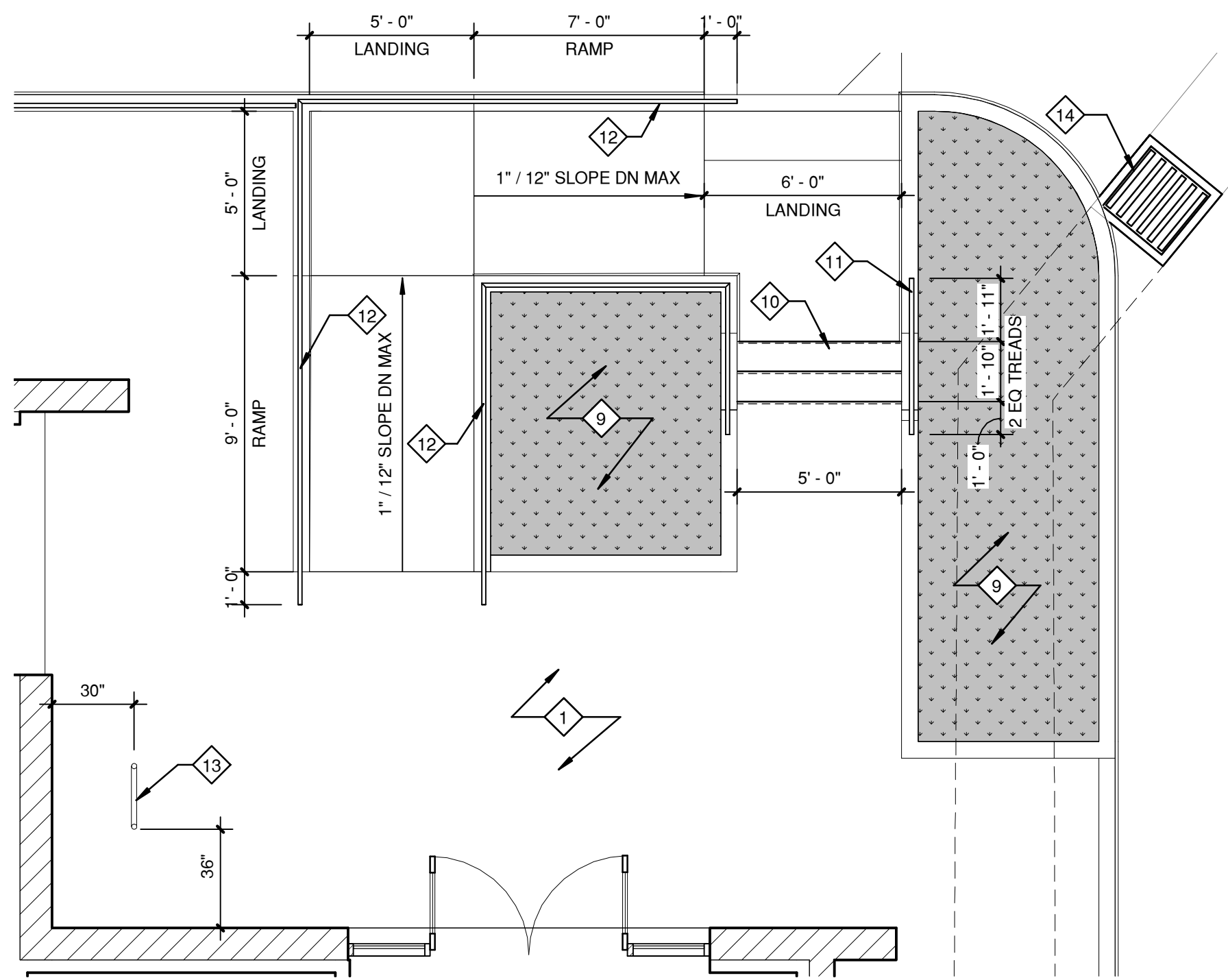
VICINITY MAP



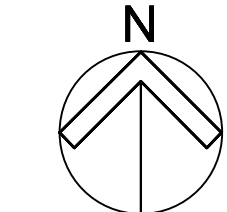
PROJECT INFORMATION

SCALE

3



ENLARGED SITE PLAN



SCALE

1/4" = 1'-0"

2

KEYNOTES

- 1 CONCRETE SIDEWALK PER CIVIL DWGS
- 2 PAINTED PAVEMENT MARKINGS
- 3 CONCRETE MASONRY UNIT PER EXT ELEVS & STRUCT DWGS
- 4 DECORATIVE METAL FENCES AND GATES
- 5 9'-0" X 18'-0" PAINTED PARKING STRIPING PER CITY STANDARD
- 6 9'-0" X 18'-0" ACCESSIBLE PAINTED PARKING STRIPING PER CITY STANDARD
- 7 CAST IN PLACE CONCRETE WALL
- 8 COMMERCIAL ELECTRIC VEHICLE CHARGING UNIT (NIC)
- 9 LANDSCAPING PER LANDSCAPE DWGS
- 10 CAST IN PLACE CONCRETE STAIR PER DETAIL 4/AD1.1
- 11 36" HANDRAIL @ STAIR PER DETAIL 4/AD1.1
- 12 36" HANDRAIL @ RAMP PER DETAIL 3/AD1.1
- 13 SITE BICYCLE RACKS
- 14 STORM DRAIN INLET PER CIVIL DWGS

EXISTING KEYNOTES

- EXISTING ITEMS TO REMAIN U.N.O.
- E1 EXISTING UTILITY EASEMENT
- E2 EXISTING POWER POLE
- E3 EXISTING RAMP
- E4 EXISTING 9' X 18' ADA STALL TYP
- E5 EXISTING 9' X 18' STANDARD PARKING STALL
- E6 EXISTING CARPORT
- E7 EXISTING PAVING
- E8 EXISTING WROUGHT IRON SWING GATE
- E9 EXISTING 6' HIGH CONCRETE BLOCK WALL
- E10 EXISTING RETAINING WALL
- E11 EXISTING DRAIN WITH SUMP
- E12 EXISTING GUTTER DRAIN
- E13 EXISTING PUBLIC UTILITY EASEMENT
- E14 EXISTING CLARIFIER PIT
- E15 EXISTING FIRE HYDRANT
- E16 EXISTING GUARD RAIL
- E17 EXISTING 6' HIGH CHAIN LINK FENCE WITH PRIVACY SLATS
- E18 EXISTING STRUCTURE

DEMO KEYNOTES

- D1 DEMO EXISTING STEPPED CONCRETE BLOCK WALL
- D2 DEMO EXISTING CURB & GUTTER

LEGEND

- KEYNOTE - SEE THIS SHEET
- EXISTING/ DEMO KEYNOTE - SEE THIS SHEET
- PROPERTY LINE
- STREET CENTERLINE
- ACCESSIBLE PATH OF TRAVEL
- INTERNATIONAL SYMBOL OF ACCESSIBILITY

NOTES

- 1. REFER TO CIVIL DRAWINGS FOR ALL SITE IMPROVEMENTS.
- 2. REFER TO CIVIL DRAWINGS FOR HORIZONTAL CONTROL.
- 3. REFER TO ELECTRICAL PLAN FOR SITE LIGHTING.



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Project Revision

- 60% REVIEW SET 04.06.2022
- 60% REVIEW SET 06.06.2022

OFFICE REMODEL & EXPANSION

GRATING PACIFIC

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LOS ALAMITOS, CA 90720

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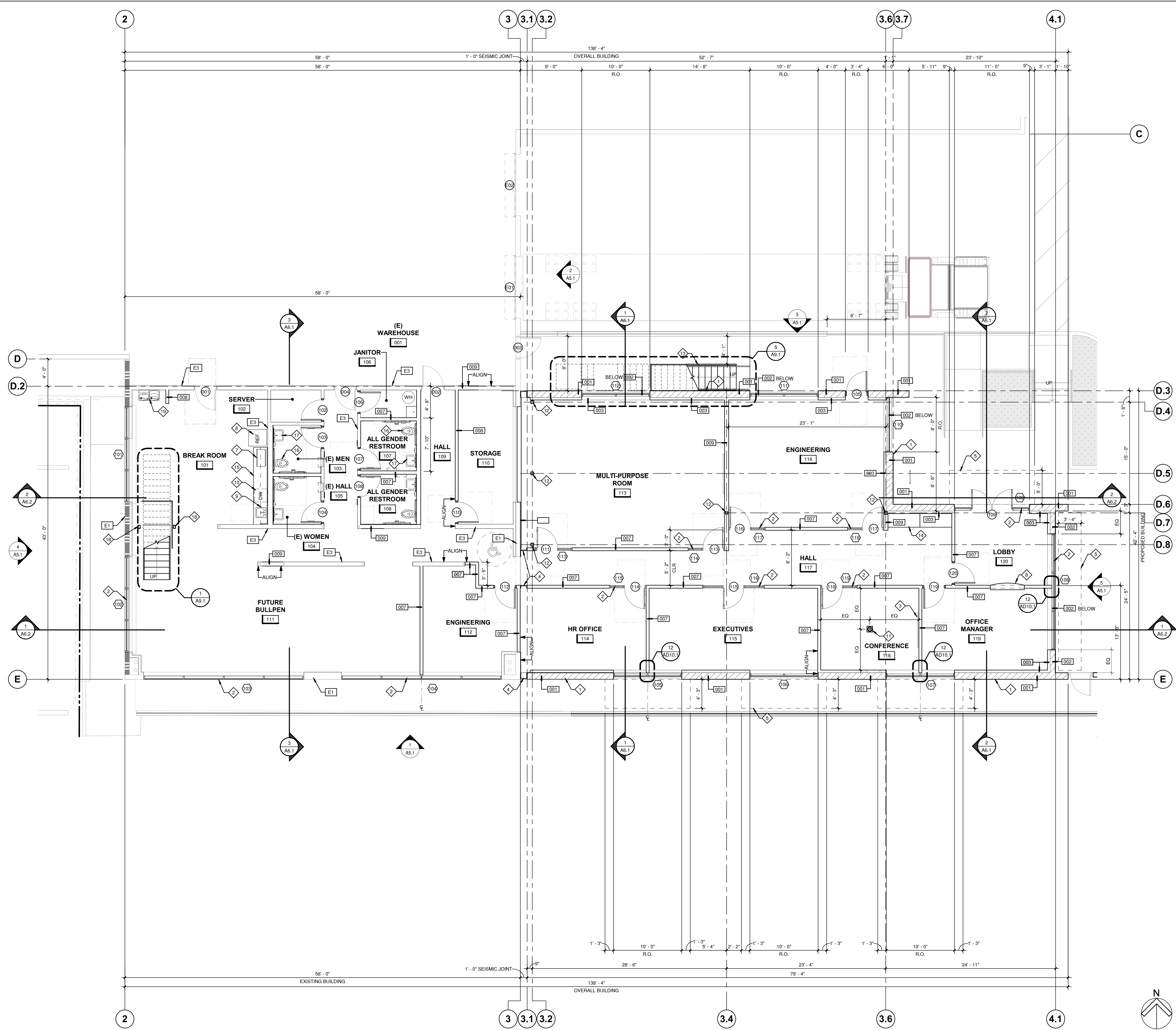
SITE PLAN

2/16/22 AS NOTED
DATE SS SCALE
DWN CHK

JRMA Project No.
5829-0

A1.1

Appendix: Doc# 19229 Grating Pacific Los Alamitos Office 2023-03-03-14:21:44



KEYNOTES

1

CONCRETE MASONRY UNIT PER EXT ELEV & STRUCT DWGS

2

ALUMINUM-FRAMED STOREFRONTS PER WINDOW SCHEDULE

3

WALL MTD MONITOR, CONTRACTOR TO PROVIDE POWER & DATA, REF ELEC DWGS

4

EXTERIOR EXPANSION JOINT COVER ASSEMBLIES

5

METAL CANOPIES

6

REFRIGERATOR, OFCI, CONTRACTOR TO PROVIDE WATER SUPPLY, REF PLUMBING DWGS

7

RESIDENTIAL MICROWAVE, OFCI

8

COUNTERTOPS

9

COMMERCIAL STAINLESS STEEL UNDERMOUNT SINK

10

DISHWASHER, OFCI

11

POWER/DATA FLOOR BOX PER ELECTRICAL, REFER TO ELECTRICAL DRAWINGS, VERIFY FINAL LOCATION WITH OWNER PRIOR TO INSTALL

12

STRUCTURAL STEEL COLUMN PER STRUCT DWGS

13

METAL PAN STAIRS

14

MANUFACTURED PLASTIC-LAMINATE-CLAD FULL-HT CABINET

15

STONE COUNTERTOPS

16

COMMERCIAL WATER CLOSET PER PLUMB DWGS

17

COMMERCIAL WALL-MOUNTED LAVATORY PER PLUMB DWGS

18

WOOD POST PER STRUCT DWGS

19

DRINKING FOUNTAINS

Project Revision

60% REVIEW SET

04.06.2022

60% REVIEW SET

06.06.2022

EXISTING KEYNOTES

E1

EXISTING EXTERIOR CONCRETE WALL TO REMAIN

E2

NOT USED

E3

EXISTING INTERIOR WALL TO REMAIN

E4

EXISTING PLUMBING FIXTURE TO REMAIN

E5

EXISTING MECHANICAL DUCT TO REMAIN

LEGEND

ROOM NAME

101

ROOM NAME & NUMBER - REF FINISH SCHEDULE

KEYNOTE CALLOUT - REF THIS SHEET

0

DOOR NUMBER - REF DOOR SCHEDULE

10

WINDOW/ GLAZING SYSTEM NUMBER - REF WINDOW SCHEDULE

0

WALL TYPE - REF WALL TYPE LEGEND

R.O.

ROUGH OPENING

1 1 1 1

1 HR FIRE RATED WALL - REF WALL TYPE LEGEND

2 2 2 2

EXISTING 2 HR FIRE RATED WALL

NOTES

1.

SEE STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

2.

PROVIDE WATER RESISTANT GYPSUM BOARD AT ALL RESTROOM WALLS & WITHIN 4'-0" OF ALL SINKS AND WATER HEATERS.

3.

SEE AC SHEETS FOR ACCESSIBILITY SPECIFICATIONS.

4.

ALL EXPOSED STEEL NOT GALVANIZED TO BE PRIMED & PAINTED.

5.

LOCATE ALL TOILET FLUSH CONTROLS ON OPEN SIDE OF WATER CLOSET.

6.

WHERE FLOOR DRAINS ARE INDICATED, THE FLOOR SURFACE MUST SLOPE 1:50 TO THE FLOOR DRAINS OF A 4'-0" DEPRESSION WHICH SLOPES 1:8" PER FOOT MUST BE PROVIDED AROUND EACH DRAIN.

7.

PROVIDE METAL STUD BACKING AT ALL CABINETS, PLUMBING FIXTURES & ACCESSORIES, REF DETAIL X/AD.X FOR ADDITIONAL INFORMATION.

FIRST FLOOR PLAN

SCALE

3/16" = 1'-0"

1

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Project Revision

60% REVIEW SET

04.06.2022

60% REVIEW SET

06.06.2022

OFFICE REMODEL & EXPANSION

GRATING PACIFIC

3651 SAUSALITO ST.

LOS ALAMITOS, CA 90720

11/30/21

DATE

SS

DWN

AS NOTED

SCALE

RJ

CHK

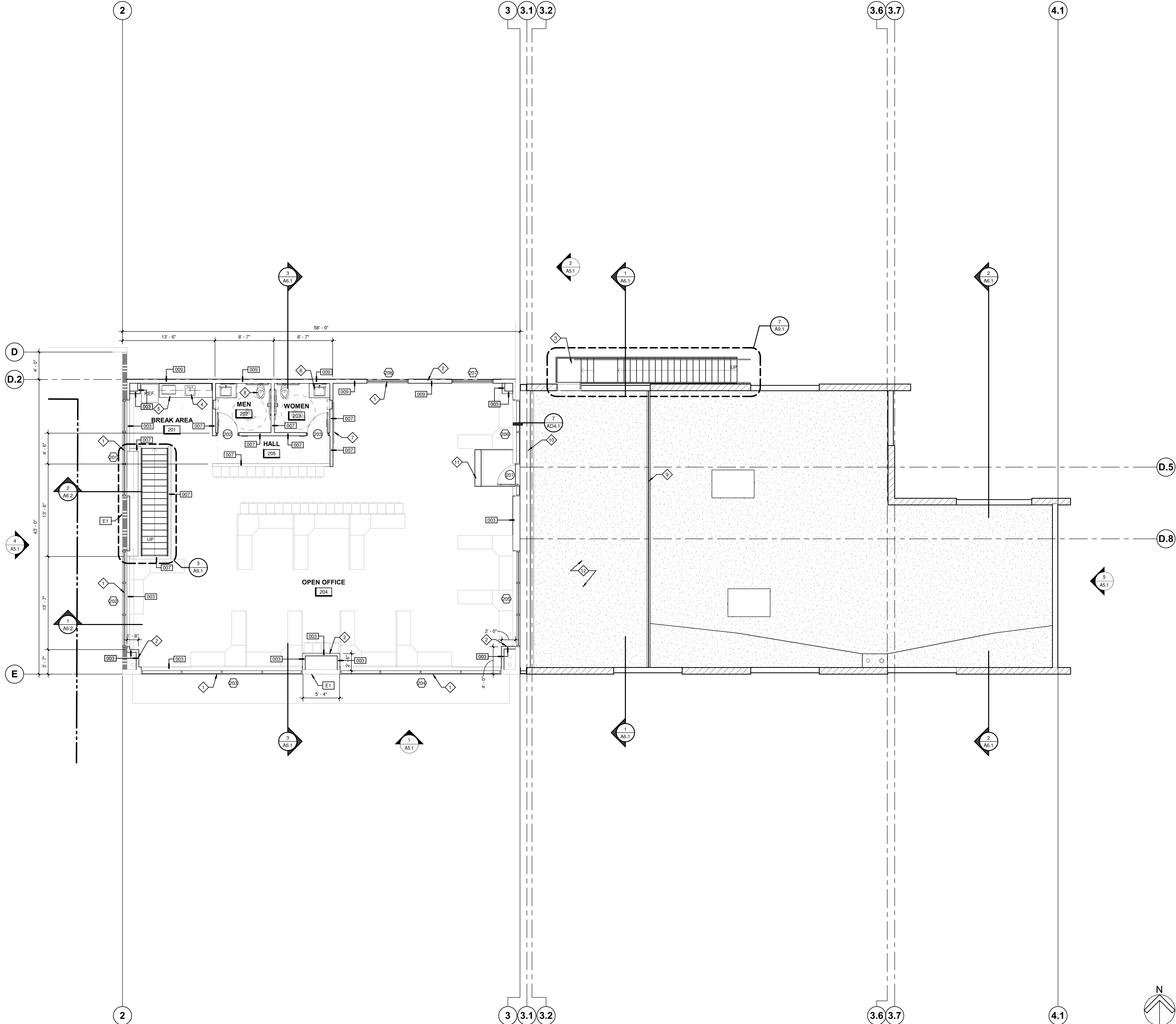
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5829-0

A2.1

Page 42 of 44

Appendix Doc: 5829 Grating Pacific Los Alamitos Office 3/20/21 JRM/AR/21/14



- ### KEYNOTES
- 1 ALUMINUM-FRAMED STOREFRONTS PER WINDOW SCHEDULE
 - 2 NON-STRUCTURAL METAL STUD FRAMING PER WALL TYPE
 - 3 METAL PAN STAIRS
 - 4 COMMERCIAL STAINLESS STEEL UNDERMOUNT SINK
 - 5 COUNTERTOPS
 - 6 COMMERCIAL UNDERMOUNT LAVATORY PER PLUMB DWGS
 - 7 WALL MTD MONITOR, CONTRACTOR TO PROVIDE POWER & DATA, REF ELEC DWGS
 - 8 COMMERCIAL WATER CLOSET PER PLUMB DWGS
 - 9 27" H CANE DETECT RAILING PER DETAIL 8/AD9.1
 - 10 MANUFACTURED ROOF EXPANSION JOINTS
 - 11 WOOD STAIRS PER STRUCT DWGS
 - 12 CONC FILLED STEEL ROOF DECKING

Project Revision			
60% REVIEW SET	04.06.2022		
60% REVIEW SET	06.06.2022		

- ### EXISTING KEYNOTES
- E1 EXISTING EXTERIOR CONCRETE WALL TO REMAIN
 - E2 NOT USED
 - E3 EXISTING INTERIOR WALL TO REMAIN
 - E4 EXISTING PLUMBING FIXTURE TO REMAIN
 - E5 EXISTING MECHANICAL DUCT TO REMAIN

- ### LEGEND
- | ROOM NAME | ROOM NAME & NUMBER - REF FINISH SCHEDULE |
|---|--|
| 101 | |
| KEYNOTE CALLOUT - REF THIS SHEET | |
| DOOR NUMBER - REF DOOR SCHEDULE | |
| WINDOW/ GLAZING SYSTEM NUMBER - REF WINDOW SCHEDULE | |
| WALL TYPE - REF WALL TYPE LEGEND | |
| R.O. | ROUGH OPENING |
| 1 HR FIRE RATED WALL - REF WALL TYPE LEGEND | |
| EXISTING 2 HR FIRE RATED WALL | |

- ### NOTES
- SEE STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - PROVIDE WATER RESISTANT GYPSUM BOARD AT ALL RESTROOM WALLS & WITHIN 4' - 0" OF ALL SINKS AND WATER HEATERS.
 - SEE AC SHEETS FOR ACCESSIBILITY SPECIFICATIONS.
 - ALL EXPOSED STEEL NOT GALVANIZED TO BE PRIMED & PAINTED.
 - LOCATE ALL TOILET FLUSH CONTROLS ON OPEN SIDE OF WATER CLOSET.
 - WHERE FLOOR DRAINS ARE INDICATED, THE FLOOR SURFACE MUST SLOPE 1:50 TO THE FLOOR DRAINS OF A 4' - 0" DEPRESSION WHICH SLOPES 1/8" PER FOOT MUST BE PROVIDED AROUND EACH DRAIN.
 - PROVIDE METAL STUD BACKING AT ALL CABINETS, PLUMBING FIXTURES & ACCESSORIES, REF DETAIL X/ADX.X FOR ADDITIONAL INFORMATION.

SECOND FLOOR PLAN SCALE 3/16" = 1'-0" 1

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ARCHITECTS ENGINEERS

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WWW.JRMA.COM

Project Revision			
60% REVIEW SET	04.06.2022		
60% REVIEW SET	06.06.2022		

OFFICE REMODEL & EXPANSION

GRATING
PACIFIC

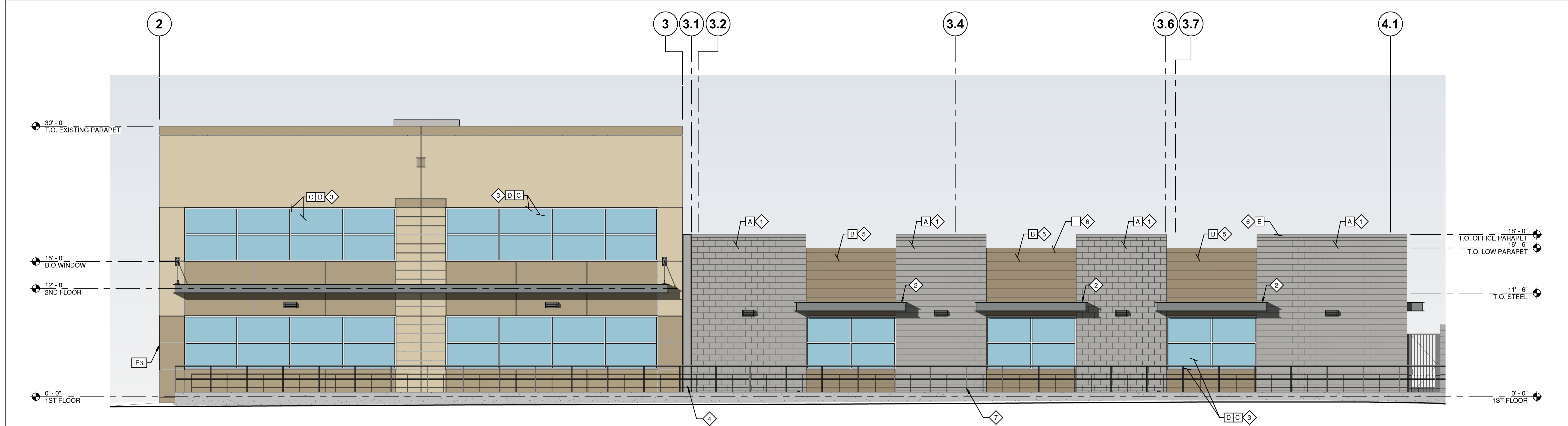
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LOS ALAMITOS, CA 90720

SECOND
FLOOR PLAN

11/30/21	AS NOTED
DATE SS	SCALE RJ
DWN	CHK

JRMA Project No.
5829-0

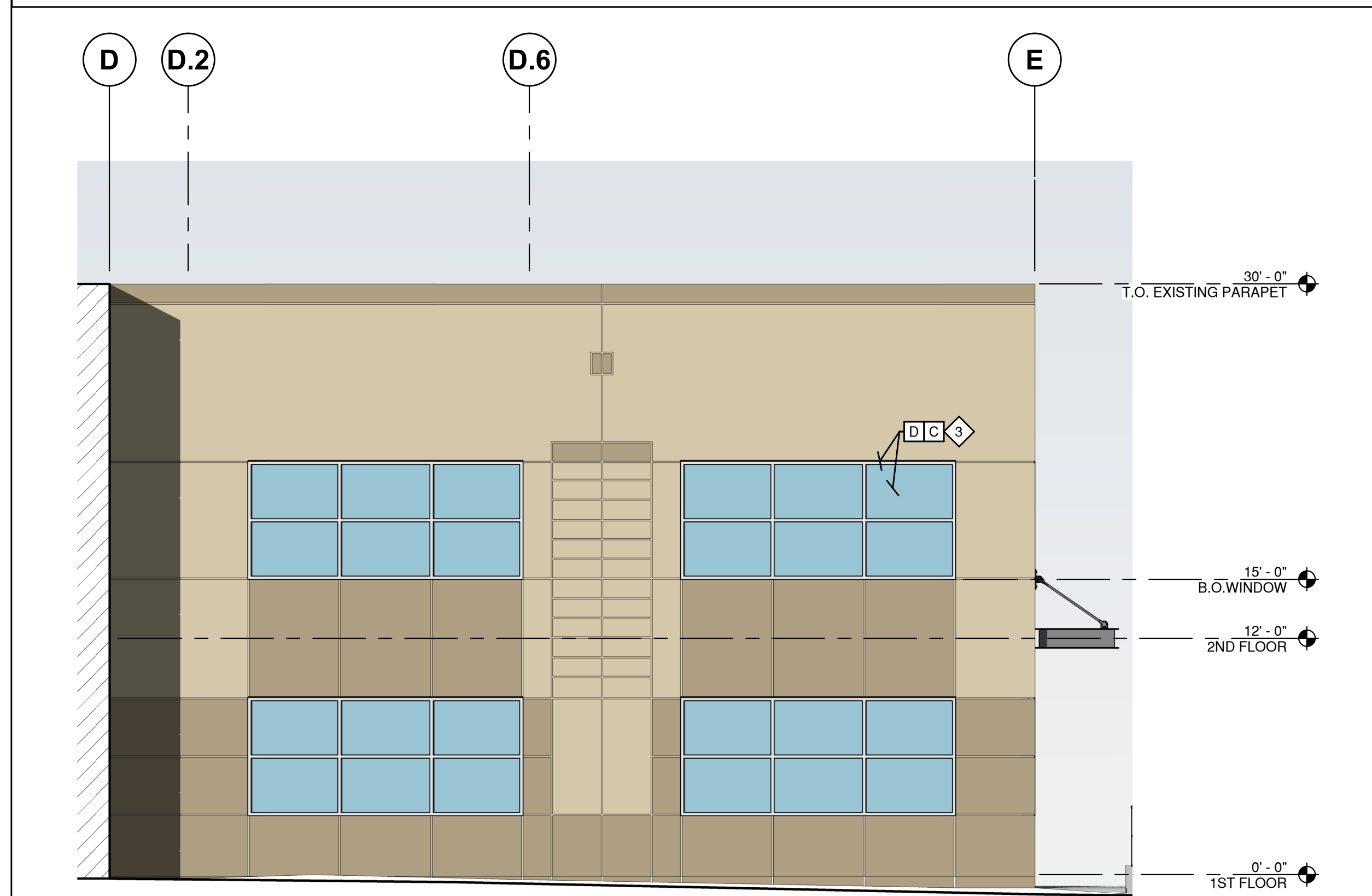
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SOUTH ELEVATION

SCALE
3/16" = 1'-0"

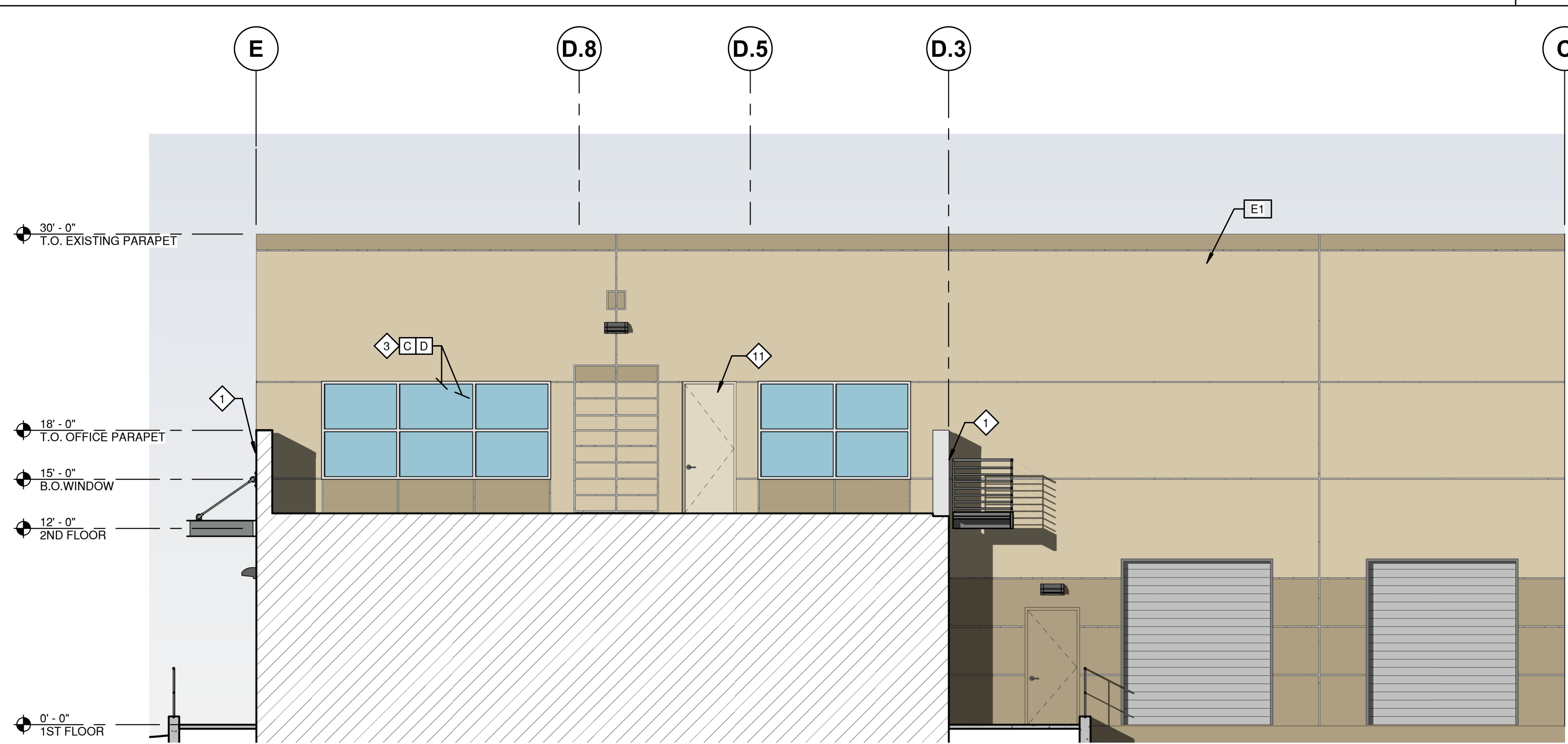
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WEST ELEVATION

SCALE
3/16" = 1'-0"

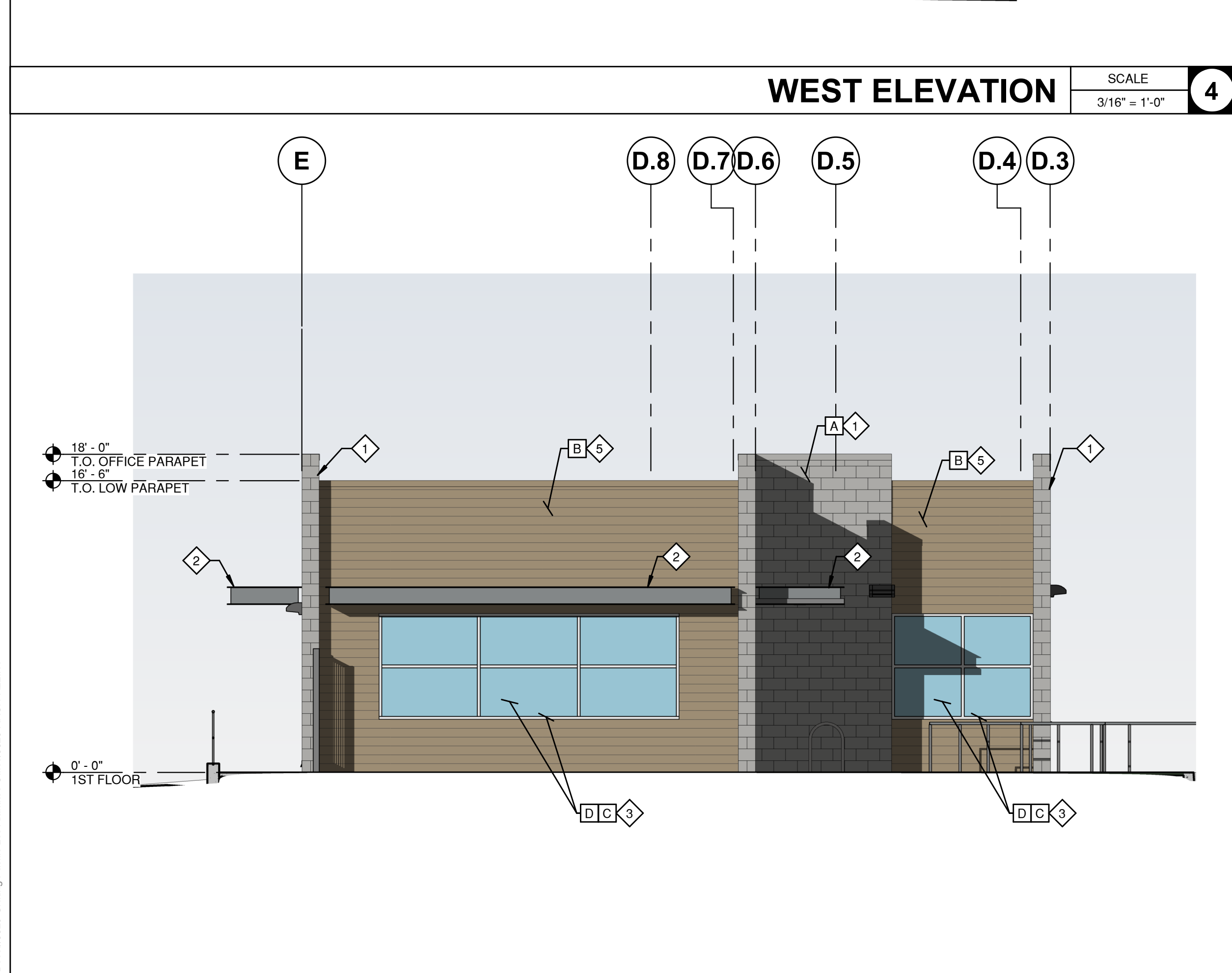
4



EAST ELEVATION

SCALE
3/16" = 1'-0"

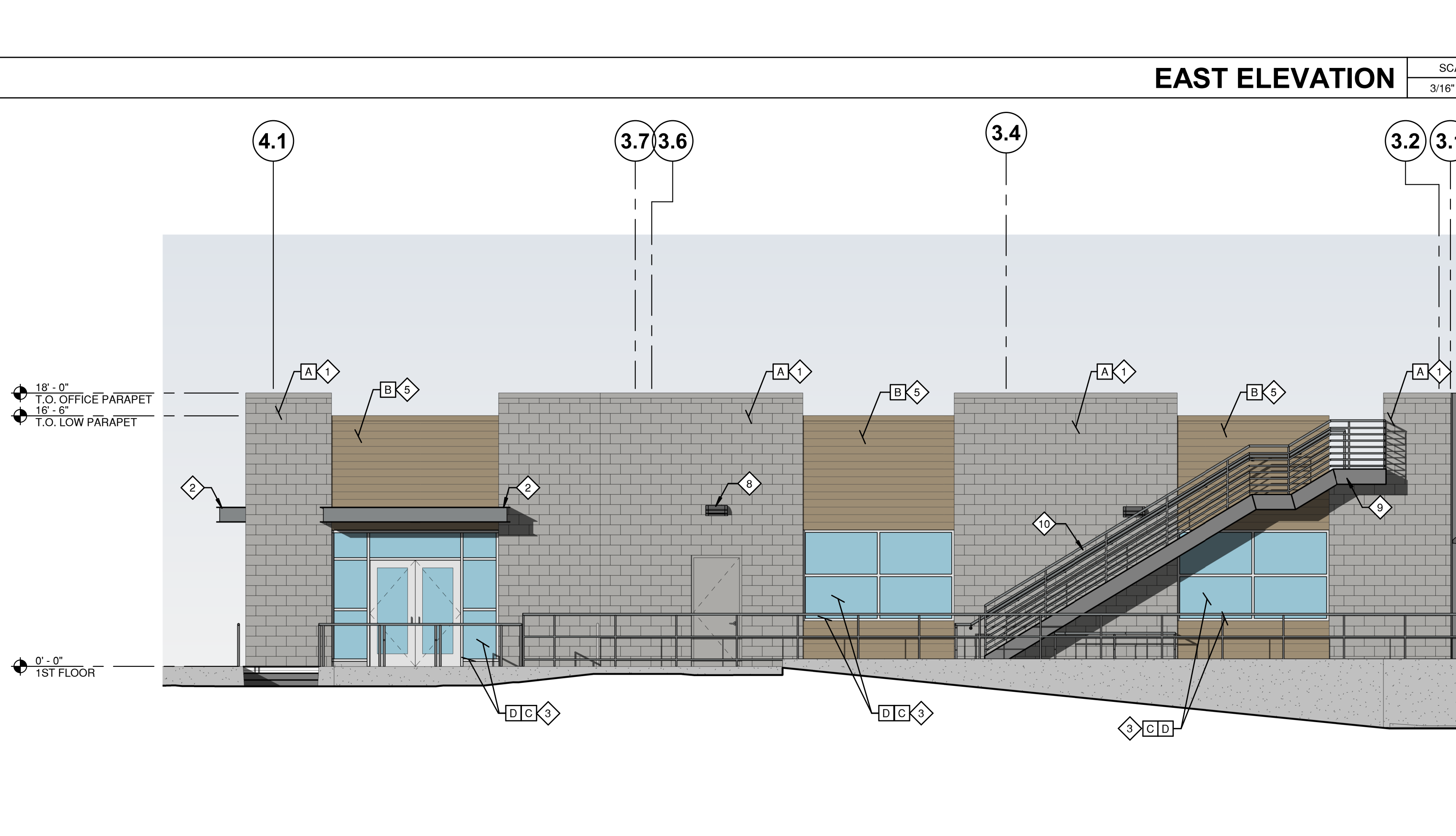
2



EAST ELEVATION

SCALE
3/16" = 1'-0"

5



NORTH ELEVATION

SCALE
3/16" = 1'-0"

3

KEYNOTES

- 1 CONCRETE MASONRY UNIT PER EXT ELEV'S & STRUCT DWGS
- 2 METAL CANOPIES
- 3 ALUMINUM-FRAMED STOREFRONTS PER WINDOW SCHEDULE
- 4 EXTERIOR EXPANSION JOINT COVER ASSEMBLIES
- 5 METAL WALL PANEL OVER CONCRETE MASONRY UNIT ALIGN. HORIZONTAL FLUTES ACROSS ALL ELEVATIONS
- 6 PARAPET COPING
- 7 PIPE AND TUBE RAILINGS
- 8 EXTERIOR LIGHTING
- 9 METAL PAN STAIRS
- 10 42" GUARDRAIL PER DETAIL 5/AD1.1
- 11 HOLLOW METAL DOOR AND FRAME

EXISTING KEYNOTES

- E1 EXISTING EXTERIOR CONCRETE WALL TO REMAIN
- E2 EXISTING STOREFRONT SYSTEM TO REMAIN

FINISH KEYNOTES

#	MFR	PRODUCT/ COLOR
1	N/A	PAINT TO MATCH ADJ FIELD COLOR
A	ORCO	PRECISION BLOCK STACK BOND, COLOR: INDIO GRAY MW
B	AEP SPAN	24 GA METAL PANEL W/ HORIZONTAL FLUTES: HR-36 PANEL, COLOR: COOL DESERT BEIGE
C	N/A	ANODIZED ALUMINUM, COLOR: CLEAR
D	VITRO GLAZING	1" INSULATED GLASS UNIT, COLOR: SOLEXIA W/ SOLARBAN XX
E	N/A	PAINT TO MATCH ADJ FIELD COLOR